

Application No.: SP-2018-026

Attachment "B"

Site Plan Application

CEDAR HOLDING, LLC SITE PLAN

A RESOLUTION OF THE MAYOR AND TOWN COUNCIL OF THE TOWN OF CUTLER BAY, FLORIDA, APPROVING THE SITE PLAN OF CEDAR HOLDING, LLC TO PERMIT A ONE HUNDRED NINETY-NINE (199) UNIT RESIDENTIAL APARTMENT BUILDING AT THE POINT ROYALE SHOPPING CENTER, WHICH IS ON PROPERTY LOCATED AT 18901 SOUTH DIXIE HIGHWAY (FOLIO # 36-6005-070-0010), AS LEGALLY DESCRIBED IN EXHIBIT "A", CONSISTING OF APPROXIMATELY 3.58 ACRES; AND PROVIDING FOR AN EFFECTIVE DATE.



BERCOW RADELL FERNANDEZ & LARKIN

ZONING, LAND USE AND ENVIRONMENTAL LAW

DIRECT LINE: (305) 377-6229 E-Mail: gpenn@BRZoningLaw.com

VIA HAND DELIVERY

November 6, 2019

Mr. Alex David
Interim Director
Community Development Department
Town of Cutler Bay
10720 Caribbean Boulevard, Suite 110
Cutler Bay, Florida 33189

RE: Revised Letter of Intent Point Royale Apartments – Site Plan Approval Application (Folios 36-6005-070-0010)

Dear Mr. David:

Our firm represents Cedar Holding, LLC (the "Applicant"), the owner of the property located at 18901 South Dixie Highway in the Town of Cutler Bay (the "Town"), Florida, further identified by Miami-Dade County Property Appraiser Folio No. 36-6005-070-0010 (the "Property"). This letter shall serve as the Applicant's revised letter of intent in support of the Site Plan approval application for a 199-unit residential building (the "Project") at the Point Royale Shopping Center.

<u>Background.</u> The Project was heard by the Town Council on September 18th, 2019 and after a lengthy discussion, the application was continued at the request of the Council. The Applicant heard the Council's concerns and the public's comments and went back to the drawing board to address the comments expressed at the hearing. The proposed plans have been revised as follows:

- 1. The number of units has been reduced from an initially proposed 265-units to 199 units.
- 2. The east portion of the building, the area closest to the residential neighborhoods, was significantly reduced in height to 3-stories and the 7-story portion of the building has now been set back

Alex David, Interim Director Community Development Department November 6, 2019 Page 2 of 6

approximately 227 feet from the eastern property line. The west portion of the building, closest to South Dixie Highway, is proposed at 7-stories. As you will recall, the previous submittal showed the entire building at 7-stories in height.

- 3. The original application included a second parcel owned by the Applicant located to the east of the Property (the "East Parcel") where the Applicant was proposing to develop a park and, after approval, dedicate the park to the Town. There were concerns expressed at the September 18th hearing about the Town's willingness to accept the park. To address these concerns, the Applicant has removed the East Parcel from the application and is no longer proposing a park on the East Parcel. No development plan is currently proposed for the East Parcel, which remains zoned for single family development.
- 4. To address safety concerns in connection with traffic circulation within the Point Royale Shopping Center, the Applicant is proposing to introduce new crosswalks, fire lane striping, stops signs along internal north-south corridor, speed humps, and improved pedestrian circulation consistent with Sheet A0.09 of the revised plans.

The Property. The Property consist of tax folio number 36-6005-070-0010 and is approximately 3.58 acres of land. The Property is located along the South Dixie Highway corridor on the northeast corner of the Point Royale Shopping Center between Marlin Road and the C-1 Canal. The Property fronts South Dixie Highway and is currently developed with the US-1 Discount Mall, a commercial building approximately 49,959 square feet in size. The Property is subject to a Covenant in Lieu of Unity of Title that ties it to a unified site plan with the remainder of the Point Royale Shopping Center, as well as related parking and access easements.

<u>Land Use.</u> The Town of Cutler Bay's Future Land Use Map (FLUM) for its Growth Management Plan designates the Property as "Mixed Use." The Town of Cutler Bay Growth Management Plan requires that residential components, as part of mixed use developments located in the US-1 corridor, must be more than twenty percent (20%) but no greater than eighty percent (80%) of the total floor area of a mixed use building. The Project's floor area consists of 57.8% residential

Alex David, Interim Director Community Development Department November 6, 2019 Page 3 of 6

uses and the remainder of the Point Royale Shopping Center amounts to 42.2% of retail floor area.

Zoning. The Property is zoned TRC "Transit Corridor District." The Transit Corridor District provides for the location of transit-oriented uses and those uses which have a market area that extends beyond the scale of the corridor and surrounding neighborhoods. See Sec. 3-59, Cutler Bay Land Development Regulations. The intent of the district is to facilitate convenient access, minimize traffic congestion, and reduce visual clutter to create a development pattern that improves the aesthetic quality and character of the US 1 corridor within the town. Buildings are required to relate to the street with a pedestrian scale, rather than to parking lots. Site design criteria is required to facilitate ease of pedestrian access along the corridor and the bus way.

<u>Covenant.</u> After approval of this application the Covenant in Lieu of Unity of Title will be modified to revise the approved site plan. The Applicant has worked with the Town's attorney and other Point Royale Shopping Center owners to discuss next steps in modification of the recorded Covenant and will continue to work with the Town and other owners following approval of this application.

<u>Proposed Development.</u> The Applicant proposes to develop the Property with a transit-oriented, 199-unit residential building ranging between three (3) to seven (7) stories, conveniently located along the US-1 corridor. The Project will make the existing Point Royale Shopping Center a mixed-use center with a variety of existing commercial uses and the proposed a residential component. The Property is the ideal location for higher intensity residential uses because residents will enjoy convenient access to retail and restaurants within the center and, therefore, eliminate additional traffic congestion in the area. Additionally, the Project has been tastefully designed and will improve the aesthetic quality and character of the US 1 Corridor.

The Project is significantly set back from the US 1 Corridor while also providing pedestrian access and private parking for all residents. The Applicant is proposing 360 parking spaces where 358 parking spaces are required. In accordance with Section 3-74(5) of the Code the Project is utilizing a 10% parking reduction. Residents will enjoy private key-fob access into and out of the garage. The Project provides state of the art amenities for residents, including a roof-top pool and amenity space and a playground at the ground level. The

Alex David, Interim Director Community Development Department November 6, 2019 Page 4 of 6

redevelopment program proposes beautiful landscaping which will significantly improve the existing conditions at the Property.

Green Building Program Designation. The proposed development will be one of the firsts, if not the first, project in the Town to obtain National Green Building Standards ("NGBS") certification and will avail itself to some of the bonuses available through the Green Building Program Designation, namely a permitted height of up to seven (7) stories for a portion of the Project. The Project will be designed to ensure resource, energy and water efficiency as well as long-term sustainability. Overall, the Project will advance the Town's sustainable development goals. See Abney & Abney Green Solutions Report

<u>Site Plan Approval Criteria.</u> In accordance with Section 3-33 of the Town of Cutler Bay Land Development Regulations, the Project satisfies the Site Plan Approval criteria as follows:

a. The development permitted by the application, if granted, conforms to the growth management plan, is consistent with applicable area or neighborhood studies or plans, and would serve a public benefit warranting the granting of the application at the time it is considered.

The Project is consistent with the Growth Management Plan by providing a mixed-use residential component along the US 1 Corridor. Additionally, the Project provides convenient access, minimizes traffic congestion and will improve the aesthetic quality and character of the US 1 Corridor.

b. The development permitted by the application, if granted, will have a favorable impact on the environmental and natural resources of the town, including consideration of the means and estimated cost necessary to minimize the adverse impacts, the extent to which alternatives to alleviate adverse impacts may have a substantial impact on the natural and human environment, and whether any irreversible or irretrievable commitment of natural resources will occur as a result of the proposed development.

The Project will have a favorable impact on the environmental and natural resources of the Town of Cutler Bay and no irreversible or irretrievable

Alex David, Interim Director Community Development Department November 6, 2019 Page 5 of 6

commitment of natural resources will occur as a result of the proposed development.

c. The development permitted by the application, if granted, will have a favorable or unfavorable impact on the economy of the town.

The Project will have a favorable impact on the Town's economy by elevating the tax base. Additionally, by providing a residential component in a mixed-use shopping center, local businesses will have an increase clientele with convenient access. The Applicant retained the services of Miami Economic Associates, Inc. ("MEA") to study the fiscal benefits of the proposed Project. MEA estimates that the Project will create over 300 direct and indirect jobs and labor income is estimated at over \$4,000,000. See MEA Economic Impact Study. In addition, the Project is estimated to generate thousands of dollars annually in taxes to the Town.

d. The development permitted by the application, if granted, will efficiently use or not unduly burden water, sewer, solid waste disposal, recreation, education or other necessary public facilities which have been constructed or planned and budgeted for construction.

The Applicant has submitted and secured approval of the previously proposed plans for review by all disciplines to ensure the Project will not unduly burden water, sewer, solid waste disposal, recreation, education or other necessary public facilities. All disciplines issued favorable approvals for the previously proposed plans which included a greater number of units and, therefore, a greater impact. Accordingly, the Applicant anticipates a finding that the revised plans for the Project will also receive favorable approval.

e. The development permitted by the application, if granted, will efficiently use or not unduly burden or affect public transportation facilities, including mass transit, roads, streets and highways which have been constructed or planned and budgeted for construction, and if the development is or will be accessible by public or private roads, streets or highways.

Alex David, Interim Director Community Development Department November 6, 2019 Page 6 of 6

The Project will efficiently use public transportation facilities, including mass transit, roads, streets and highways. The Applicant anticipates the Project will have minimal impact on local traffic as residents are expected to utilize pedestrian friendly paths and bicycles as their primary form of transport. The Applicant engaged the services of David Plummer and Associates to prepare a traffic impact study. The proposed methodology was approved by Miami-Dade County and the results of the traffic study were reviewed by the Town's consultants. An assessment of the traffic impacts associated with the proposed project was performed in accordance with the Town's requirements. All roadway segments analyzed are projected to operate within the Town's Level of Service Standards, and for all roadway segments analyzed, traffic volumes associated with the project are at levels generally considered de minimus.

As part of the study, a mobility and circulation plan was completed. The plan shows that the project is located in an area that is conducive for pedestrian and bicycle activities. Sidewalks are available along most roadways, clearly marked crosswalks are available at major intersections throughout the area. The project is served by various Miami-Dade Transit bus routes and is within walking distance to the South Dade (bike) Trail and the South Miami – Dade Busway. This should encourage the use other modes of transportation and reduce vehicular impact on the roadway network.

<u>Conclusion.</u> We respectfully request your prompt review and recommendation of the proposed Project. Thanks again for your help. Should you have any questions or concerns, please do not hesitate to phone my direct line at (305) 377-6229.

Sincerely,

Graham Penn

Enclosures

cc: Joe Akar

Maritza Haro Salgado, Esq.



DEPARTMENT OF CAMAGEMENDER ELEGENT 64) PLANNING AND ZONING

APPLICATION FOR SITE PLAN APPROVAL

LIS	ALL FOLIO #S: <u>36-6005-070-0010</u>					
DATE RECEIVED:						
PR	POSED PROJECT NAME: Point Royale Apartments					
1.	AME OF APPLICANT (Provide complete name of applicant, exactly as recorded on eed, if applicable. If applicant is a lessee, an executed 'Owner's Sworn-to-Consent' and opy of a valid lease for 1 year or more is required. If the applicant is a corporation, trust, artnership, or like entity, a 'Disclosure of Interest' is required).					
	Cedar Holding, LLC					
2.	PPLICANT'S MAILING ADDRESS, TELEPHONE NUMBER:					
	Mailing Address: _ 56 NE 1 Street					
	ity: Miami State FIZip: 33132 Phone#: 305-374-5300					
3.	DWNER'S NAME, MAILING ADDRESS, TELEPHONE NUMBER:					
	Owner's Name (Provide name of ALL owners): Cedar Holding, LLC					
	Mailing Address: 56 NE 1 Street					
	ity: Miami State: FL Zip: 33132 Phone#: 305-374-5300					
4.	ONTACT PERSON'S INFORMATION:					
	Name: Graham Penn/Maritza Haro Salgado Company: Bercow Radell Fernandez & Larkin PLLC					
	lailing Address: 200 S. Biscayne Blvd., Suite 850					
	ity: Miami State: FL Zip: 33131					
	GPenn@BrZoningLaw.com none# <u>305-374-5300</u> Fax# <u>305-377-6225</u> E-mail: <u>MHaro@BrZoningLaw.com</u>					



10720 Caribbean Boulevard, Suite 105 $^{\circ}$ Cutler Bay, FL 33189 $^{\circ}$ 305-234-4262 $^{\circ}$ www.cutlerbay-fl.gov



LEGAL DESCRIPTION OF ALL PROPERTY COVERED BY THE APPLICATION
--

(Provide complete legal description, i.e., lot, block, subdivision name, plat book &page number, or metes and bounds. Include section, township, and range. If the application contains multiple rezoning requests, then a legal description for each sub-area must be provided. Attach separate sheets, as needed).

See Exhibit A	
6. ADDRESS OR LOCATION OF PROPERTY (For location, use description such a etc).	as NE corner of,
18901 S. Dixie Highway, Cutler Bay FL 33157	
7. SIZE OF PROPERTY (in acres): 3.58 (divide total sq. ft. by 43,560 to obtain	ain acreage)
8. DATE PROPERTY acquired a leased: September 18th, 2000	
9. LEASE TERM: N/A Years (Month & year)	
10. IF CONTIGUOUS PROPERTY IS OWNED BY THE SUBJECT PROPERTY OW Complete legal description of said contiguous property.	/NER(S), provide
Yes, Folio No. 36-6005-014-0010	

10720 Caribbean Boulevard, Suite 105 $^{\circ}$ Cutler Bay, FL 33189 $^{\circ}$ 305-234-4262 $^{\circ}$ www.cutlerbay-fl.gov



11. Is there an option to purchase □ or lease □ the subject property or property contiguous thereto? x no □ yes (if yes, identify potential purchaser or lessee and complete 'Disclosure of Interest' form)					
Zoning: TRC 12. PRESENT ZONING AND FLU CLASSIFICATION: FLU: Mixed Use					
13. PROPOSED USE OF PROPERTY (describe nature of the request in space provided)					
Applicant proposes to develop the property with a three (3) to seven (7) story residential build with 199 units.	<u>gnik</u>				
 14. Has a public hearing been held on this property within the last year & a half? ☑ No □ yes. If yes, provide applicant's name, and date, purpose and results of hearing, and resolution number: 					
15. Is this hearing a result of a violation notice?	the				
16. Does property owner own contiguous property to the subject property? If so, goomplete legal description of entire contiguous property: Yes, Folio No. 36-6005-014-0010	ive				
17. Is there any existing use on the property? □ No a yes. If yes, what use and when established?					
Use: Commercial Year:					

10720 Caribbean Boulevard, Suite 105 $^{\circ}$ Cutler Bay, FL 33189 $^{\circ}$ 305-234-4262 $^{\circ}$ www.cutlerbay-fl.gov



18. Submitted Materials Required: Please check all that Apply:

_ Substantial Improvement Letter of intent	
_ Justifications for change	
Statement of hardship	
Poof of ownership or letter from owner	
Power of attorney	
_ Contract to purchase (if applicable)	
 Current survey (2 original sealed and signed and 10 reduced 11x17 cop Complete set of plans 24'x36", scale 1'=50' (2 original sealed and signed and 10 reduced 11x17 copies) 	oies ed
 Colored rendering of all 4 sides of each proposed building (If applicable 20% Property owner signatures (If required) 	le)
 Mailing Labels (set amount depends on number of hearings) and map required) 	(If
Required Fee(s)	
 Plans must be approved by Miami-Dade County Fire and Rescue Department with an original stamp and signature from the Fire Dept. Necessary documentation from DERM and WASD 	



APPLICANT'S AFFIDAVIT

OWNER OR I	ENANT AFFIDAVIT
(I)(WE),	wner a tenant of the property described and
depose and say that (I am)(We are) the a o	wner a tenant of the property described and
which is the subject matter of the proposed	nealing.
	Class where
Signature	Signature
Sworn to and subscribed to before me	Notary Public:
hisday of,	Commission Expires:
A Company	**************************************
· ·	TION AFFIDAVIT
· ·	TION AFFIDAVIT
(I)(WE),Joseph Akar depose and say that (I am)(We are) the & P Secretary of the aforesaid corporation, and	, being first duly sworn, resident - Vice-President - Secretary - Asst.
(I)(WE),Joseph Akar depose and say that (I am)(We are) the & P Secretary of the aforesaid corporation, and	, being first duly sworn, resident - Vice-President - Secretary - Asst.
(I)(WE),Joseph Akar depose and say that (I am)(We are) the \(\text{P} \) Recretary of the aforesaid corporation, and corporation to file this application for public owner \(\text{T} \) tenant of the property described he	, being first duly sworn, resident - Vice-President - Secretary - Asst.
(I)(WE),Joseph Akar depose and say that (I am)(We are) the \(\text{P} \) Recretary of the aforesaid corporation, and corporation to file this application for public owner \(\text{T} \) tenant of the property described he	, being first duly sworn, resident - Vice-President - Secretary - Asst.
(I)(WE),	, being first duly sworn, resident - Vice-President - Secretary - Asst.
(I)(WE),	, being first duly sworn, resident - Vice-President - Secretary - Asst.
depose and say that (I am) (We are) the ® Posecretary of the aforesaid corporation, and corporation to file this application for public bowner a tenant of the property described he proposed hearing.	, being first duly sworn, resident Vice-President Secretary Asst. As such, have been authorized by the hearing; and that said corporation is the perein and which is the subject matter of the Authorized Signature
CI)(WE),Joseph Akar	, being first duly sworn, resident - Vice-President - Secretary - Asst. As such, have been authorized by the hearing; and that said corporation is the perein and which is the subject matter of the
depose and say that (I am) (We are) the ® Posecretary of the aforesaid corporation, and corporation to file this application for public bowner a tenant of the property described he proposed hearing.	, being first duly sworn, resident Vice-President Secretary Asst. As such, have been authorized by the hearing; and that said corporation is the perein and which is the subject matter of the Authorized Signature
(I)(WE),Joseph Akar depose and say that (I am)(We are) the Secretary of the aforesaid corporation, and corporation to file this application for public owner a tenant of the property described he proposed hearing. Attest:(Corp. Seal)	, being first duly sworn, resident Vice-President Secretary Asst. As such, have been authorized by the hearing; and that said corporation is the perein and which is the subject matter of the Authorized Signature
(I)(WE),	, being first duly sworn, resident Vice-President Secretary Asst. Asst. Assuch, have been authorized by the hearing; and that said corporation is the perein and which is the subject matter of the Authorized Signature Office Held Notary Public:
(I)(WE),	, being first duly sworn, resident Vice-President Secretary Asst. As such, have been authorized by the hearing; and that said corporation is the more erein and which is the subject matter of the Authorized Signature Office Held Notary Public:
(I)(WE),	, being first duly sworn, resident Vice-President Secretary Asst. as such, have been authorized by the hearing; and that said corporation is the erein and which is the subject matter of the



PARTNERSHIP AFFIDAVIT , being first duly sworn, depose and (I)(WE),_ say that (I am) (We are) partners of the hereinafter named partnership, and as such, have been authorized to file this application for a public hearing; and that said partnership is the a owner a tenant of the property described herein which is the subject matter of the proposed hearing. (Name of Partnership) Notary Public: Sworn to and subscribed to before me This _____, day of _____, ____ Commission Expires: ATTORNEY AFFIDAVIT _____, being first duly sworn, depose and say that I am a I, Graham Penn State of Florida Attorney at Law, and I am the Attorney for the Owner of the property described and which is the subject matter of the proposed hearing. Signature Notary Public: Sworn to and subscribed to before me This _ 3 day of May . 2018 Commission Expires: BETTY LLERENA MY COMMISSION # GG 175999 EXPIRES: March 5, 2022 Bonded Thru Notary Public Underwriters



PART	NERSHIP	AFFIDAVIT
		, being first duly sworn, depose and
authorized to file this application for a p	ublic he	ed partnership, and as such, have been earing; and that said partnership is the a in which is the subject matter of the proposed
D	%	(Name of Partnership)
Ву	_% _%	ByBy
Sworn to and subscribed to before me This day of,		Notary Public:
ATI	ORNEY	AFFIDAVIT
l, <u>Maritza Haro Salgado</u> State of Florida Attorney at Law, and I c described and which is the subject mat	m the A	
Sworn to and subscribed to before me This day of,,	8	Notary Public: Selegion Commission Expires: 3/5/2022
		BETTY LLERENA MY COMMISSION # GG 175999 EXPIRES: March 5, 2022 Part To Notice Public Underwriters



RESPONSIBILITIES OF THE APPLICANT

I AM AWARE THAT:

- 1. The Department Environmental Resources Management (DERM), and other agencies review and critique zoning applications which may affect the scheduling and outcome of applications. These reviews may require additional public hearings before DERM's Environmental Quality Control Board (EQCB), or other boards, and /or the proffering of agreements to be recorded. I am also aware that I must comply promptly with any DERM conditions and advise this office in writing if my application will be withdrawn.
- 2. Filing fees may not be the total cost of a hearing. Some requests require notices to be mailed to property owners up to a mile from the subject property. In addition to mailing costs, fees related to application changes, plan revisions, deferrals, re-advertising, etc., may be incurred. Application withdrawn within 30 days of the filing are eligible for a refund of 25% of the hearing fee but after that time hearings withdrawn or returned will be ineligible for a refund. I understand that fess must be paid promptly.
- 3. The South Florida Building Code requirements may affect my ability to obtain a building permit even if my zoning application is approved; and that a building permit will probably be required. I am responsible for obtaining permits and inspections for all structures and additions proposed, or built without permits. And that a Certificate of Use and Occupancy must be obtained for the use of the property after it has been approved at Zoning Hearing, and that failure to obtain the required permits and/or Certificates of Completion or of Use and Occupancy will result in enforcement action against any occupant and owner. Submittal of the Zoning Hearing application may not forestall enforcement action against the property.
- 4. The 3rd District Court of Appeal has ruled that zoning applications inconsistent with the Comprehensive Development Master Plan (CDMP) cannot be approved by a zoning board based upon considerations of fundamental fairness. Therefore, I acknowledge that if the hearing request is inconsistent with the CDMP and I decide to go forward then my hearing request can only be denied or deferred, but not approved.
- 5. In Miami-Dade County v. Omnipoint Holdings, Inc. Case No. 3d01-2347 (Fla. 3rd DCA 2002), the 3rd District Court of Appeal has held invalid the standards for non-use variances, special exceptions, unusual uses, new uses requiring a public hearing and modification of covenants. This is not a final decision and the County Attorney's Department professional staff to develop new standards that will address the Court's concerns. While the new standards are being developed, applicants are advised that any non-use variance, special exception, unusual use, new use requiring a public hearing or request for modification of covenants granted under the existing standards are subject to being reversed in the courts. An applicant wishing to avoid the substantial legal risks associated with going forward under the existing standard may seek a deferral until the new standards are developed.





- 6. Any covenant to be proffered must be submitted to the Town of Cutler Bay Legal Counsel, on Town form, at least 1 month prior to the hearing date. The covenant will be reviewed and the applicant will be notified if changes or corrections are necessary. Once the covenant is acceptable, the applicant is responsible to submit the executed covenant with a current 'Opinion of Title' within 1 week of the hearing. And that Legal Counsel must carry a cover letter indicating subject matter, application number and hearing date.
- 7. The Town of Cutler Bay Department of Public Works reviews and critiques Zoning applications and may require conditions for approval.

8. Each party will be limited to a presentation of 20 minutes. This time limitation may be extended by the Chair of the meeting.

extended by the Chair of the	meening.
9. THE APPLICANT IS RESPONSIBLE HEARINGS THAT MAY BE ASSO	E FOR TRACKING THE STATUS OF THE APPLICATION AND ALL CIATED WITH THIS APPLICATION.
	(Applicant's Signature)
	25 6 7
Sworn to and subscribed before r	me this 25 day of 100 18.
Affiant is personally known to me identification.	0 4 15/5/200
177	
(Notary Public)	LINDAM, LALANI
My Commission Expires:	MY COMMISSION # GG 018141 EXPIRES: December 2, 2020 Bonded Thru Notary Public Underwriters



DISCLOSURE OF INTEREST

If the property, which is the subject of the Application, is owned or leased by a **CORPORATION**, list the Principal Stockholders and the percentage of stock owned by each. NOTE: Where the Principal Officers or Stockholders consist of another Corporation(s), Trustee(s), Partnership(s) or other similar entities, further disclosure shall be required which discloses the identity of the individual(s) (natural persons) having the ultimate ownership interest in the aforementioned entity.

Corporation Name	
Name, Address and Office	Percentage of stock
Joseph AKAR	100 %
56 NE 1st Street	
Miani, FC 33132	
Stockholders and the percentage of stock owned Stockholders consist of another Corporation(s), Trus	stee(s), Partnership(s) or other similar entities, further entity of the individual(s) (natural persons) having the
Trust Name	
Trust Name Name, Address and Office	Percentage of stock
	Percentage of stock
Name, Address and Office If the property, which is the subject of the Applicat PARTNERSHIP, list the Principal Stockholders and the Principal Officers or Stockholders consist of anothe	tion, is owned or leased by a PARTNERSHIP or LIMITED e percentage of stock owned by each. NOTE: Where the corporation(s), Trustee(s), Partnership(s) or other similables the identity of the individual(s) (natural person
If the property, which is the subject of the Applicat PARTNERSHIP, list the Principal Stockholders and the Principal Officers or Stockholders consist of anothe entities, further disclosure shall be required which of	tion, is owned or leased by a PARTNERSHIP or LIMITED e percentage of stock owned by each. NOTE: Where to the comporation (s), Trustee (s), Partnership (s) or other similables of the individual (s) (natural person



COST RECOVERY AFFIDAVIT

I hereby acknowledge and consent to the payment of <u>all applicable fees</u> involved as part of my application process. These fees include but are not limited to: application fees, postage, advertising, and attorney fees regardless of the outcome of the public hearing.

Please type or print the following:	
Date:	Public Hearing No
Full Name:	
1 Mr. 1 Mrs. 1 MsJoseph Akar	
Current Address: 56 NE 1ST Street	City: Miami
State: FL Zip: 33132	Telephone Number (786) 797-3333
Date of Birth: $03-10-63$	
Signature	Has A Fe Drive Tie, ADBOXXXX500 ETHIS 25 DAY OF April 2018
SWORN AND SUBSCRIBED BEFORE M	ETHIS 25 DAY OF April 2018
Notary Public, State of Florida at Lar	LINDA M. LALANI
My Commission expires Dec.	MY COMMISSION # GG 018141 EXPIRES: December 2, 2020 Bonded Thru Notary Public Underwriters

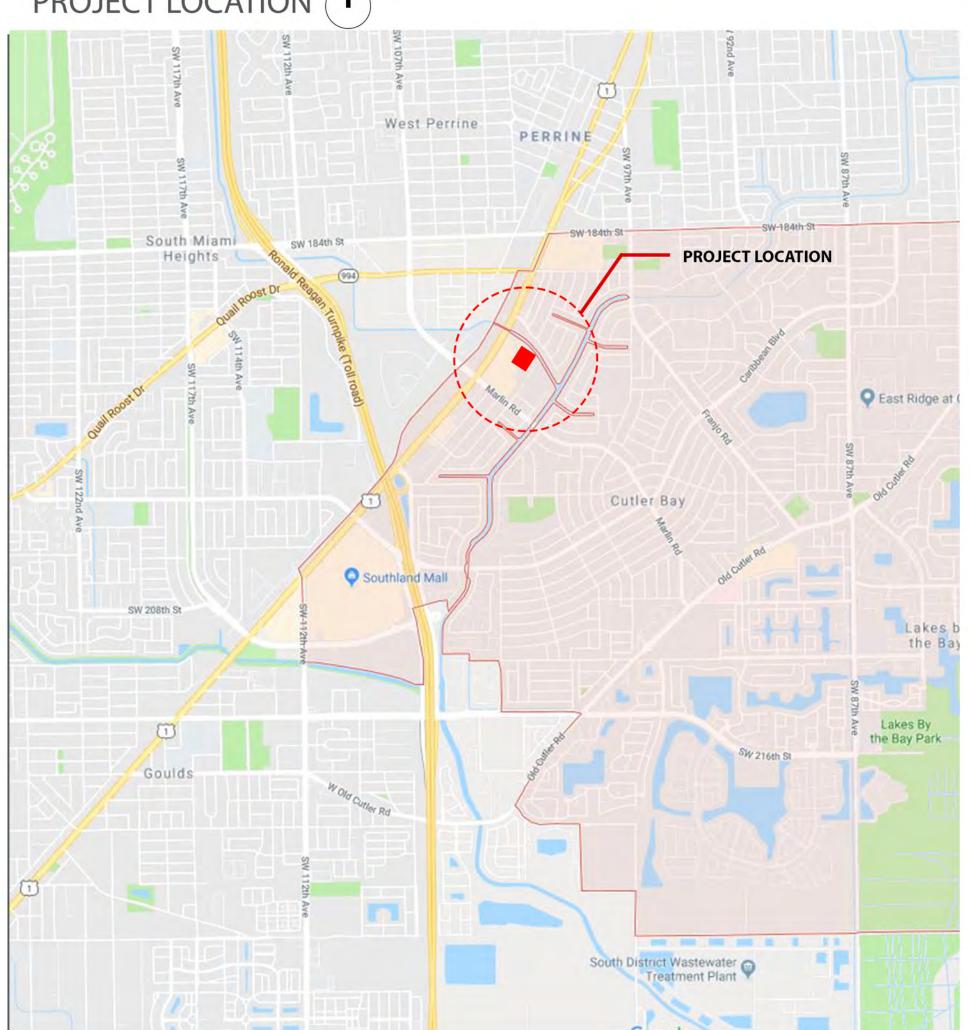


Pursuant to Ordinance No. 2000-09-33-Cost Recovery

PROJECT INDEX

PH-01 SURVEY PHOTOMETRIC CONTEXT A0.00 PHOTOMETRIC PH-02 A0.01 SITE PLAN EXHIBIT **ZONING DATA** TREE DISPOSITION PLAN L-1.00 A0.02 SITE DETAILS A0.03 TREE DISPOSITION PLAN L-1.10 FIRE TRUCK ACCESS PLAN A0.04 L-2.00 **PLANTING PLAN** WALKWAY PATH PLANTING PLAN L-2.10 A0.05 **SECTION 3-80 (U) PLANTING PLAN** L-2.30 A0.06 L-5.00 **SECTION 3-80 (E)(H)** PLANTING DETAILS A0.07 **SECTION 3-80 (T)** A0.08 PLANTING SPECS L-5.50 **CIRCULATION PLAN** A0.09 **OVERALL SITE PLAN 1** A1.00 BASEMENT LEVEL A1.01 A1.02 LEVEL 1 A1.02C LEVEL 1 COLOR LEVEL 2-3 A1.03 LEVEL 4 A1.04 A1.05 LEVEL 5-7 A1.06 **UNIT PLAN** PROPOSED ELEVATIONS A2.01 A2.02 PROPOSED ELEVATIONS PROJECT RENDERINGS A3.01 PROJECT RENDERINGS A3.02

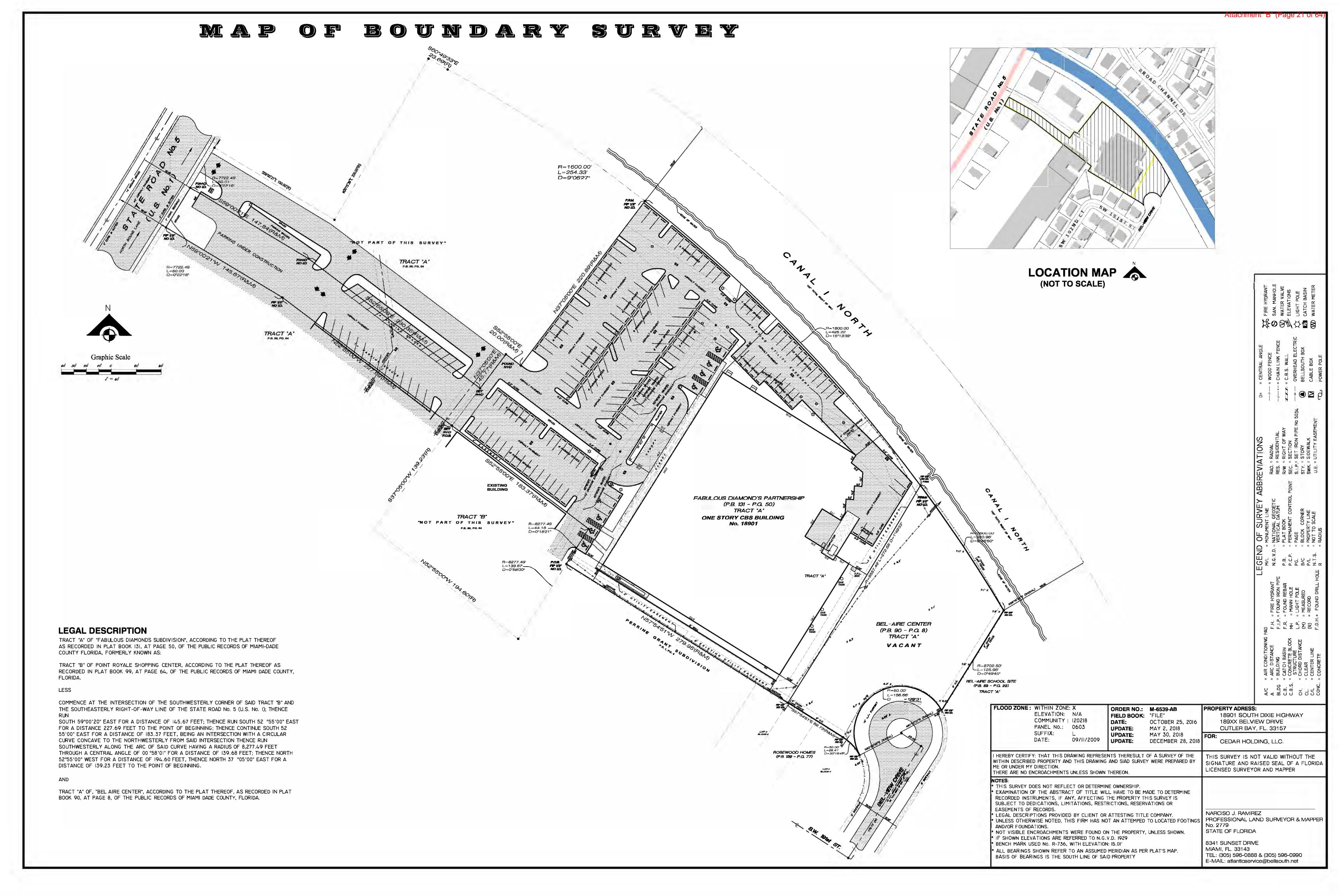
PROJECT LOCATION (T

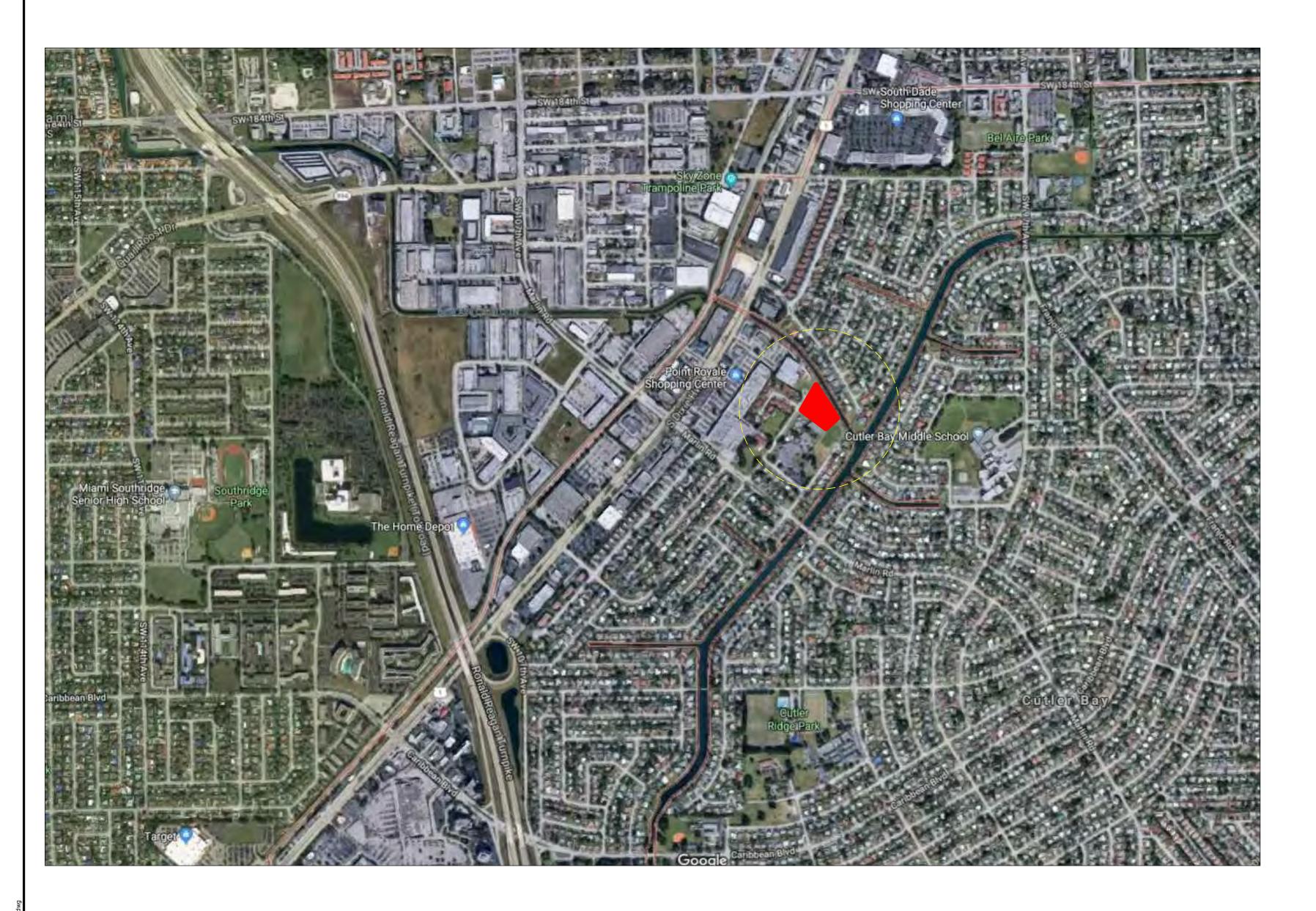


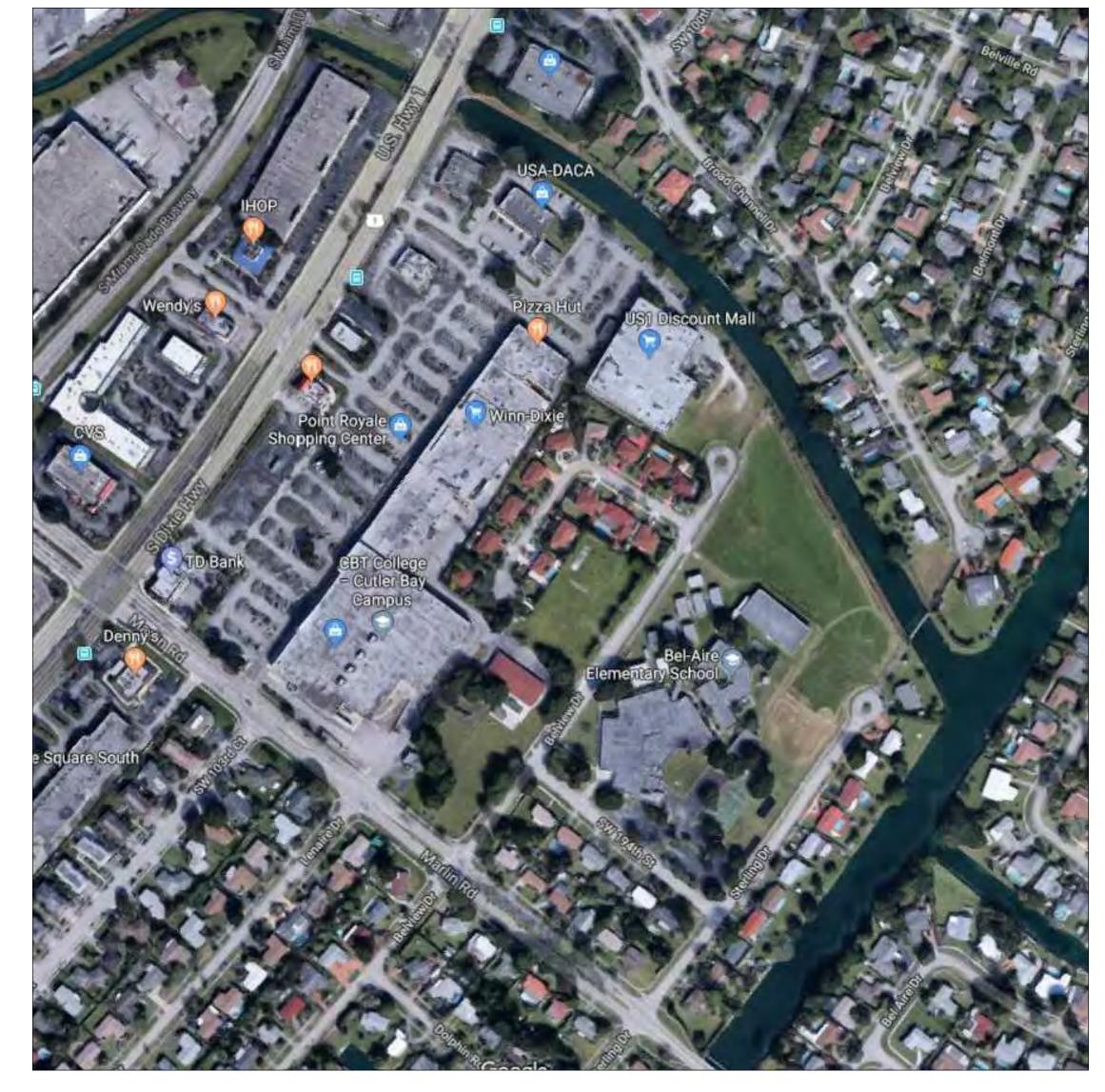




4955 SW 75th Avenue Miami, Florida 33155 T. 786.879.8882 F. 786.350.1515





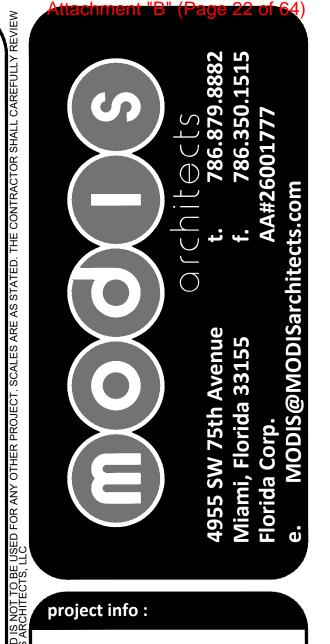












oint Royal
Apartments

ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, CDP FLORIDA REGISTERED ARCHITECT # AR 93259

revisions:

Rev. 1 10/31/2019

drawing data:

CONTEXT

project number :

#17093

drawn by : proj. manager :

DRAWN BY PM

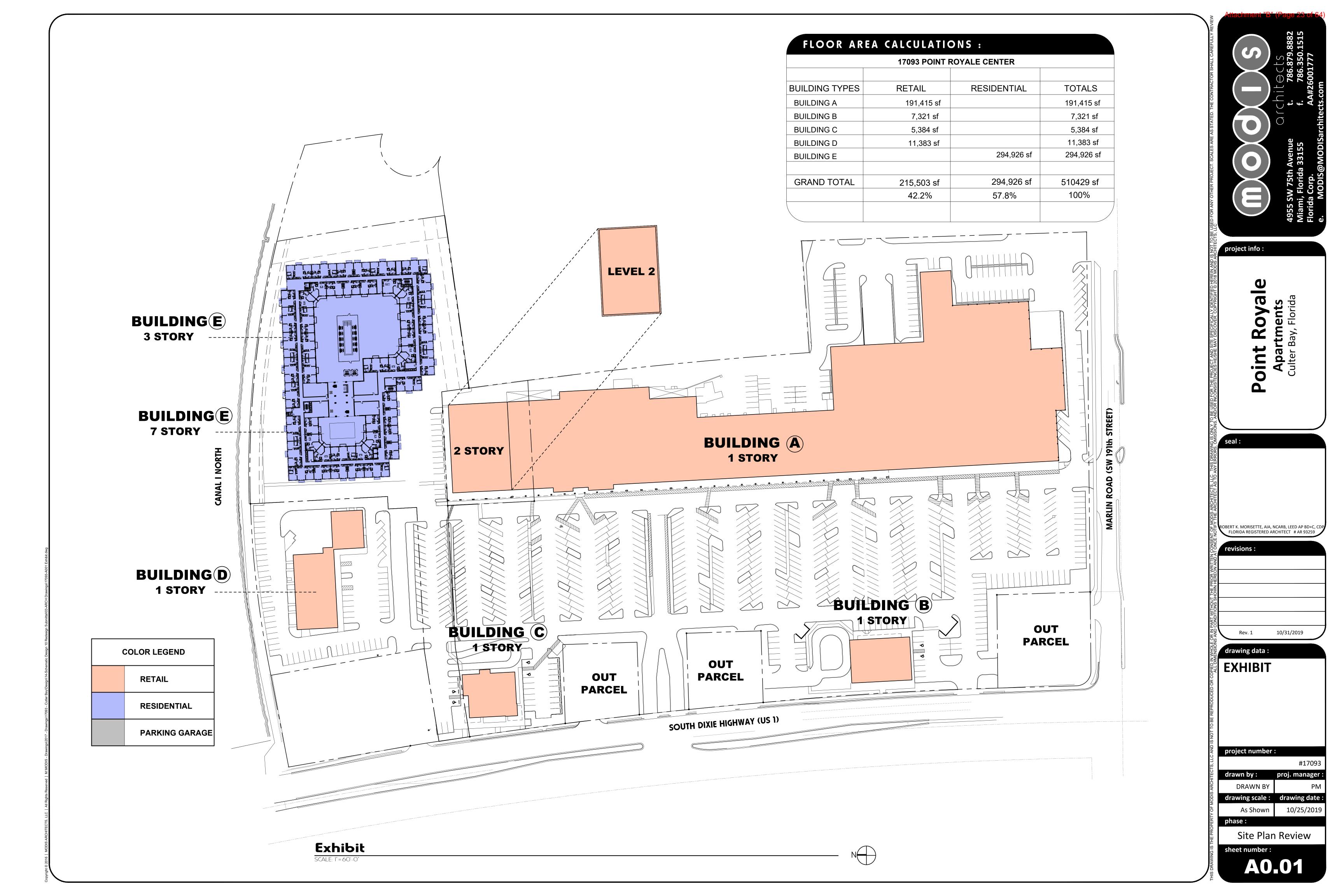
drawing scale: drawing date:

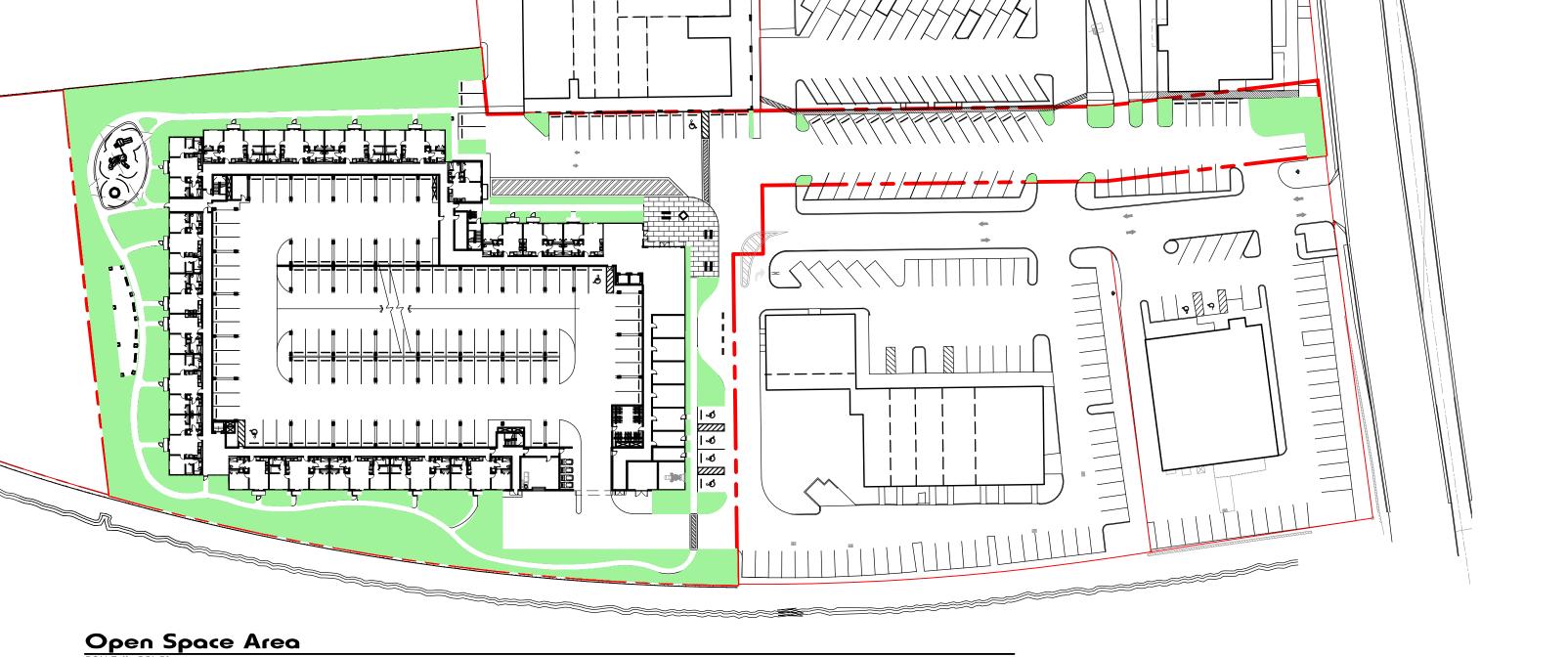
As Shown 10/25/2019

phase:

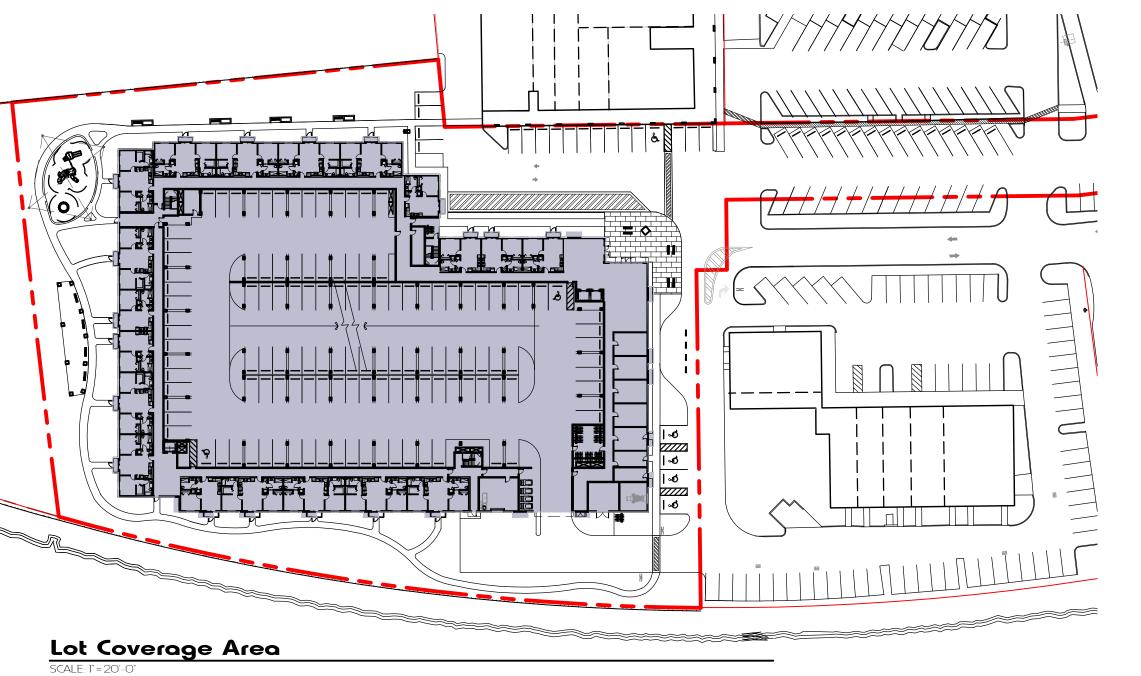
Site Plan Review

sheet number :
A0.00





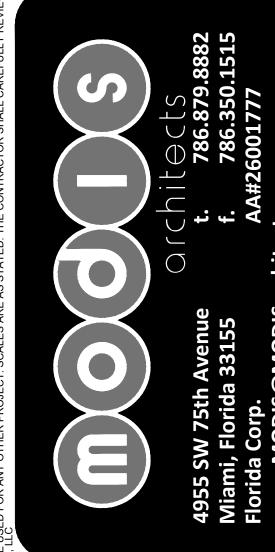
FLOOR AREA CALCULATIONS :					
17093 POINT ROYALE CENTER					
BUILDING TYPES	RETAIL	RESIDENTIAL	TOTALS		
BUILDING A	191,415 sf		191,415 sf		
BUILDING B	7,321 sf		7,321 sf		
BUILDING C	5,384 sf		5,384 sf		
BUILDING D	11,383 sf		11,383 sf		
BUILDING E		294,926 sf	294,926 sf		
GRAND TOTAL	215,503 sf	294,926 sf	510429 sf		
	42.2%	57.8%	100%		



AS	PER	SECTION	3-33(3)(g):
----	-----	---------	-------	--------

- 1. ELECTRICAL SERVICE- FPL
- 2. WASTE SERVICES WM OR EQUAL
- 3. WATER MIAMI DADE WATER & SEWER
- 4. SECURITY PRIVATE SECURITY WILL BE SELECTED AT TIME OF FINAL BUILDING PERMIT.
- 5. FIRE PROTECTION MIAMI DADE COUNTY FIRE DEPARTMENT.

Description			Required/ Permitting	Proposed								
Property Zoning:			· ommany						Unit Area Ca	lculation		
			(TRC) Transit Corridor	(TRC) Transit Corridor District				A1 (1bd)	A2 (1bd)	A3 (1bd)	B1 (2bd)	Total
Lot Area			District	(Trie) Trainer Cerrice District			Leasable Area	621 sf	601 sf	618 sf	928 sf	10141
LOI Alea	Folio #	Lot	Acres				Balc./Terr.	35 sf	55 sf	70 sf	35 sf	
Multi-Family	36-6005-070-0010	155,945 sf	3.58 Acres				Level 1	7	0	0	12	19
Wata-r army	30-0003-070-0010	100,940 31	3.30 Acres				Level 2	10	0	0	17	27
Total Lot Area		155,945 sf	3.58 Acres				Level 3	16	5	5	23	49
Density		,	0.000,0000				Level 4	10	4	4	8	26
Multi-Family	36-6005-070-0010	75 units per acres	269 Units	199 Units			Level 5	10	4	4	8	26
FAR		<u> </u>					Level 6	10	4	4	8	26
Multi-Family (Resident	36-6005-070-0010	155,945 sf	389,863 sf	294,926 sf			Level 7	10	4	4	8	26
& Garage)	Max		2.5	1.89 %			Sub Total	73 Units	21 Units	21 Units	84 Units	199 DU
Lot Coverage								36.68%	10.55%	10.55%		
Multi-Family	36-6005-070-0010		N/A	74,844 sf					57.79%		42.21%	100.00%
			,	48%								
Open Space		<u> </u>							Parking Req	uirements		
Multi-Family	36-6005-070-0010	155,945 sf	23,392 sf	32,057 sf								
			15% Min.	21%			1 BD	115 DU	2.0 SP/DU		230 spaces	
Building Height							2 BD	84 DU	2.0 SP/DU		168 spaces	
	Number of Stories		5 Story					Sub-Total			398 spaces	
		Apartment		7 Story **				* Parking Reducti	on	10 %	40 spaces	
		Garage		3 Story				Total Parl	king Required		358 spaces	
	Max. Height		60'						-		-	
		Apartment	72'-0"	70'-6"				* F	Parking Reduction as	per Section 3-74	l (5)	
		Garage	35'-0"	35'-0"					-	-		
	** Incre	eased Height as p	er Section 3-74 (4)									
Setbacks									Parking P	rovided		
Front	West		0'-0"	31'-7"			Standard HC EV (Electric Vehicule) / Hybrid Vehicule Tot			Total		
Side:	North		0'-0"	22'-6"			Outdoor Surface	0	4		0	4
0.00.	South		35'-0"	35'-0"			Basement	134	0		0	134
Rear	East		35'-0"	40'-3			Garage Level 1	106	2	,	18	126
				ng Area			Garage Level 2	94	2		0	96
				-								
Levels	Leasable Area	Non-Leasable Area	Balconies (not incl. in FAR)	Garage	Total	Elevation Heights						
Basement	0	0	0	46,398 sf	46,398 sf	-9'-6"		334	8		18	
Level 1	15,483 sf	14,275 sf	665 sf	44,135 sf	73,893 sf	0'-0"		Total Pari	king Provided			360 space
Level 2	21,986 sf	7,772 sf	945 sf	44,135 sf	73,893 sf	12'-6"			·			
Level 3	37,375 sf	14,005 sf	1,990 sf	sf	51,380 sf	22'-0"		Bic	ycle Requirements a	s per Section 3-7	'2 (a)	
Level 4	18,510 sf	5,430 sf	1,130 sf	sf	23,940 sf	31'-6"	Units			Required	Provid	ded
Level 5	18,510 sf	5,430 sf	1,130 sf	sf	23,940 sf	41'-0"	199 DU		1 Bicycle per 5 Residential Units	40 Bicycle sp.	35 Bicycle Ra	acks Indoor
Level 6	18,510 sf	5,430 sf	1,130 sf	sf	23,940 sf	50'-6"					10 Bicycle Rad	cks Outdoor
Level 7	18,510 sf	5,430 sf	1,130 sf	sf	23,940 sf	60'-0"						
Total	148,884 sf	57,772 sf	8,120 sf		294,926 sf			Hybrid Elect	rics Vehicles Require	ements as per Se	ection 3-71 (b)	
'							Parking Spaces			Required		Provided
							358 spaces		5% of the Required Parking Spaces	18 spaces	Electric Vehicles	18 spaces
									<u> </u>		Golf Carts	4 spaces
								1	Total	<u> </u>		22 spaces
												<u> </u>



project info:

OINT KOYAIE
Apartments
Culter Bay, Florida

ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, CDP FLORIDA REGISTERED ARCHITECT # AR 93259

revisions:

drawing data:

Rev. 1 10/31/2019

Zoning Data

project number :

drawn by: proj. manager:

DRAWN BY PM

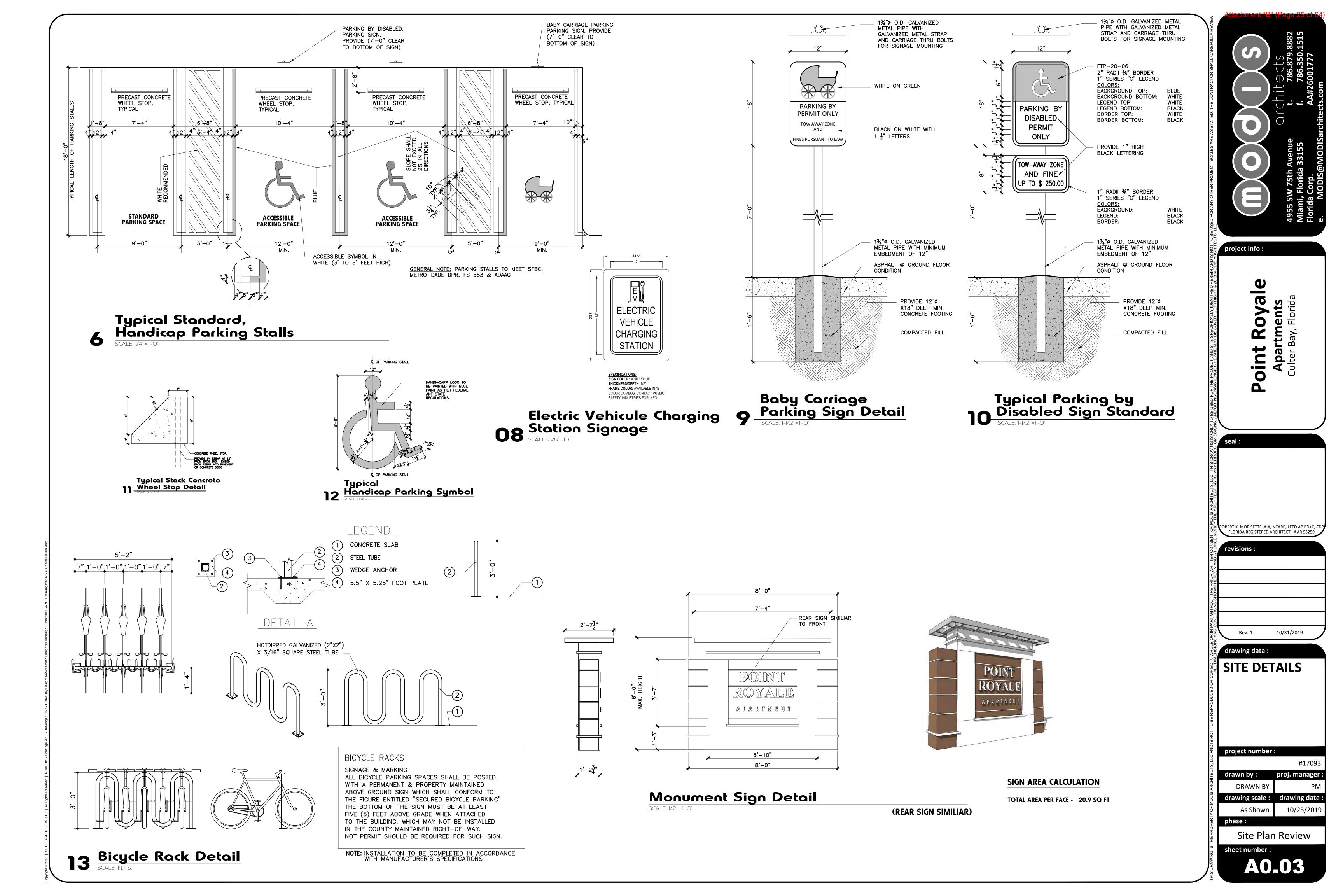
drawing scale: drawing date:

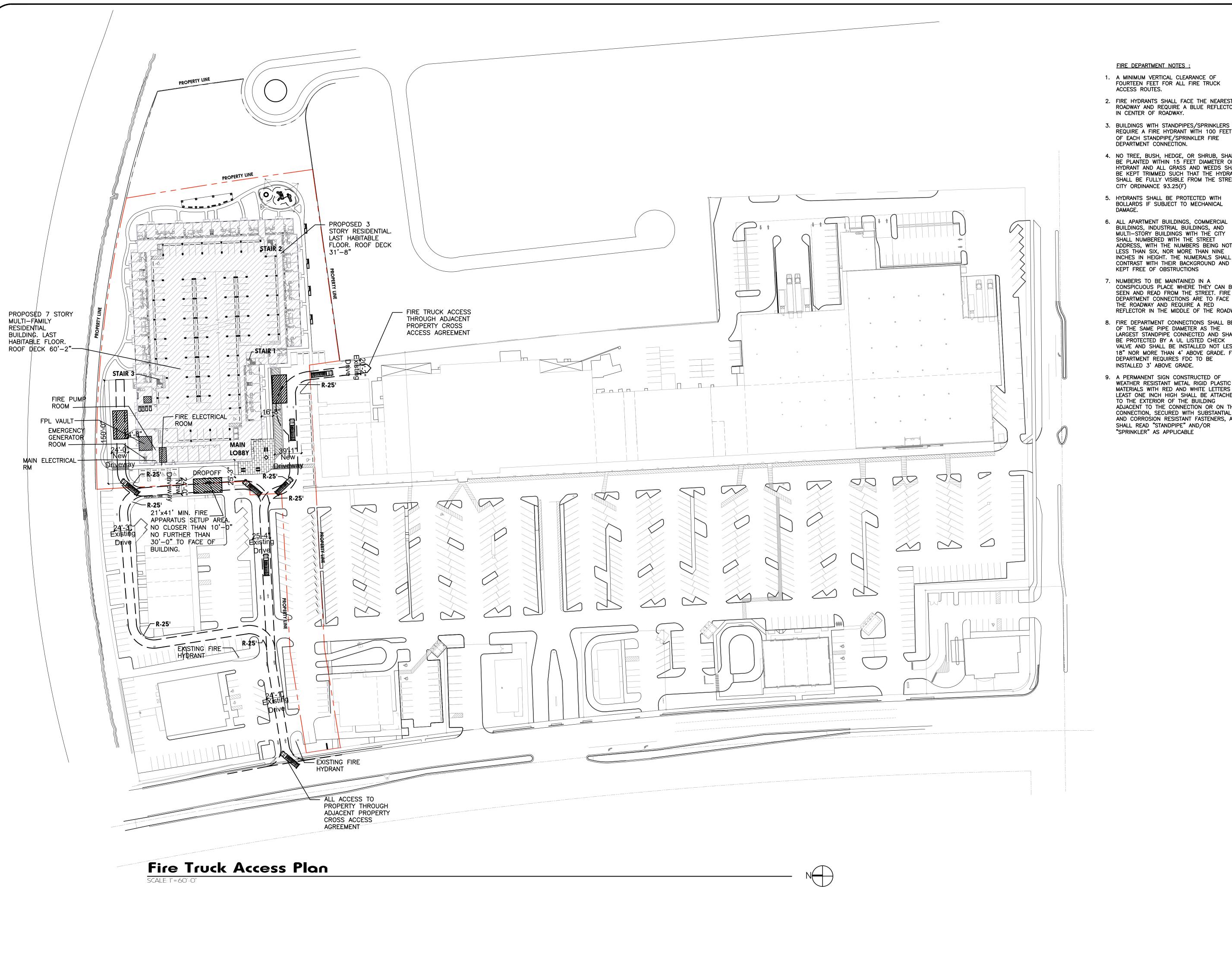
As Shown 10/25/2019

Site Plan Review

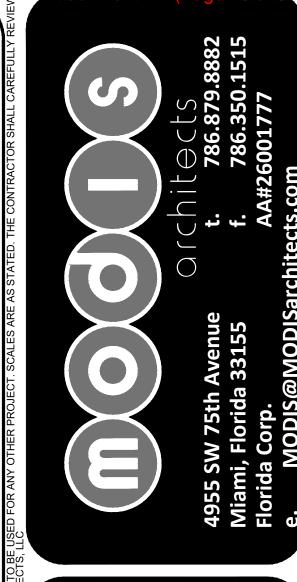
sheet number :

A0.02





- A MINIMUM VERTICAL CLEARANCE OF FOURTEEN FEET FOR ALL FIRE TRUCK
- 2. FIRE HYDRANTS SHALL FACE THE NEAREST ROADWAY AND REQUIRE A BLUE REFLECTOR
- REQUIRE A FIRE HYDRANT WITH 100 FEET OF EACH STANDPIPE/SPRINKLER FIRE DEPARTMENT CONNECTION.
- 4. NO TREE, BUSH, HEDGE, OR SHRUB, SHALL BE PLANTED WITHIN 15 FEET DIAMETER OF A HYDRANT AND ALL GRASS AND WEEDS SHALL BE KEPT TRIMMED SUCH THAT THE HYDRANT SHALL BE FULLY VISIBLE FROM THE STREET.
- 5. HYDRANTS SHALL BE PROTECTED WITH BOLLARDS IF SUBJECT TO MECHANICAL
- 6. ALL APARTMENT BUILDINGS, COMMERCIAL BUILDINGS, INDUSTRIAL BUILDINGS, AND MULTI-STORY BUILDINGS WITH THE CITY SHALL NUMBERED WITH THE STREET ADDRESS, WITH THE NUMBERS BEING NOT LESS THAN SIX, NOR MORE THAN NINE INCHES IN HEIGHT. THE NUMERALS SHALL CONTRAST WITH THEIR BACKGROUND AND BE
- CONSPICUOUS PLACE WHERE THEY CAN BE SEEN AND READ FROM THE STREET. FIRE DEPARTMENT CONNECTIONS ARE TO FACE THE ROADWAY AND REQUIRE A RED REFLECTOR IN THE MIDDLE OF THE ROADWAY.
- 8. FIRE DEPARTMENT CONNECTIONS SHALL BE OF THE SAME PIPE DIAMETER AS THE LARGEST STANDPIPE CONNECTED AND SHALL BE PROTECTED BY A UL LISTED CHECK VALVE AND SHALL BE INSTALLED NOT LESS 18" NOR MORE THAN 4' ABOVE GRADE. FIRE DEPARTMENT REQUIRES FDC TO BE
- WEATHER RESISTANT METAL RIGID PLASTIC MATERIALS WITH RED AND WHITE LETTERS AT LEAST ONE INCH HIGH SHALL BE ATTACHED TO THE EXTERIOR OF THE BUILDING ADJACENT TO THE CONNECTION OR ON THE CONNECTION, SECURED WITH SUBSTANTIAL AND CORROSION RESISTANT FASTENERS, AND SHALL READ "STANDPIPE" AND/OR



project info:

Royal **Apa**l Culter

ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, CI FLORIDA REGISTERED ARCHITECT # AR 93259

10/31/2019 Rev. 1

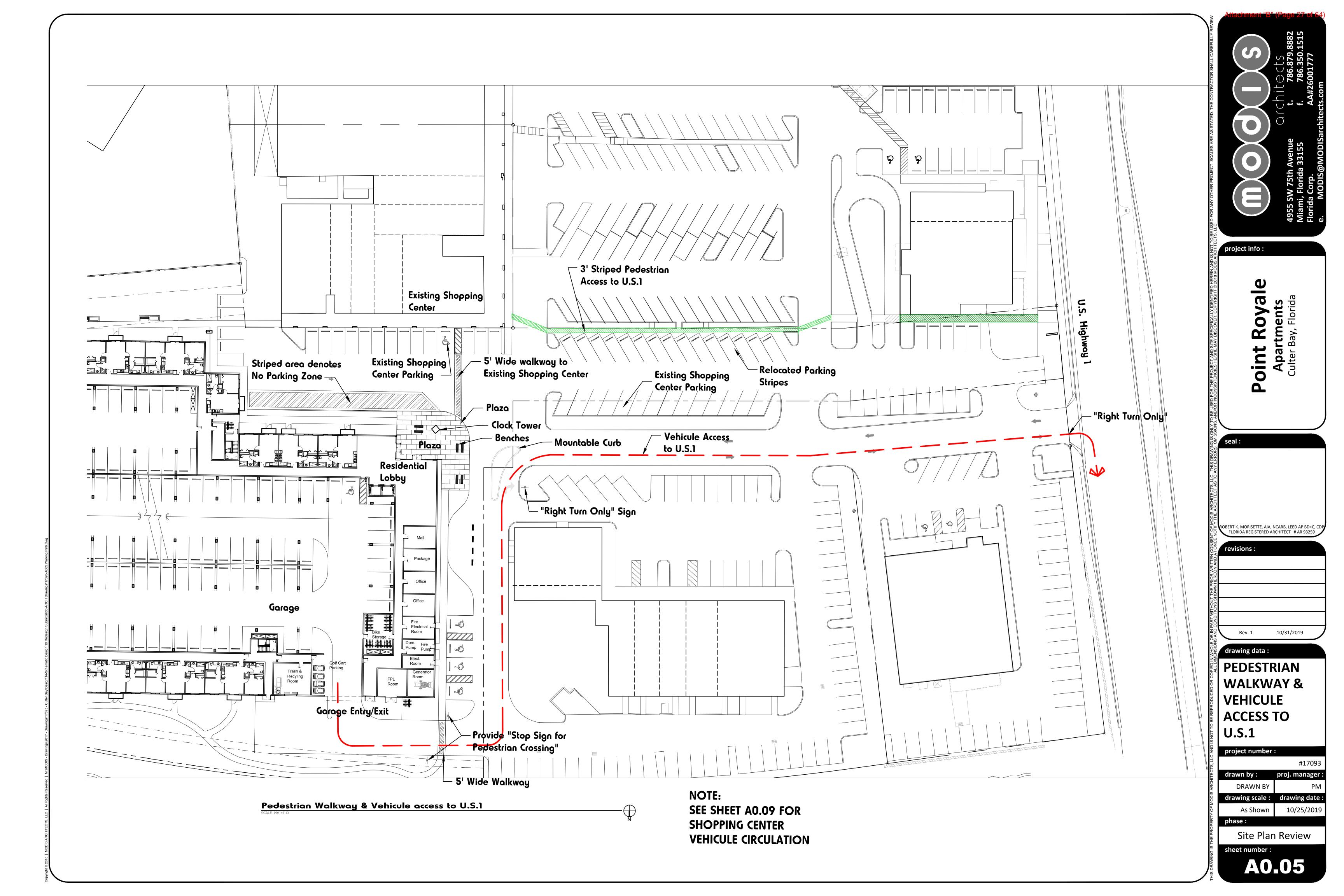
drawing data: FIRE TRUCK **ACCESS PLAN**

project number:

#17093 drawn by: proj. manager DRAWN BY drawing scale: drawing date: 10/25/2019 As Shown

Site Plan Review

sheet number: A0.04





AS PER SECTION 3-80(U):

- 1-(1) CANOPIES OR PORTICO INTEGRATED WITH THE BUILDING'S MASSING AND
- 2-(2) OVERHANGS WITH A MINIMUM OF THREE FEET IN DEPTH ALONG ALL BUILDING FACADE
- 3-(5) RAISED CORNICE OR BUILDING BANDING WITH A MINIMUM OF TWO RELIEFS ALONG BUILDING FACADE
- 4-(9) ORNAMENTAL AND STRUCTURAL ARCHITECTURAL DETAILS, OTHER THAN CORNICES, WHICH ARE INTEGRATED INTO THE BUILDING STRUCTURE AND OVERALL DESIGN.
- 5-(10) PROJECTED AND COVERED ENTRY STRUCTURE AND OVERALL DESIGN. 6-(12) - DECORATIVE LANDSCAPE PLANTERS, MINIMUM OF FIVE FEET WIDE, AND AREAS FOR SHADED SEATING CONSISTING OF A MINIMUM OF 100 SQUARE FEET.
- 7-(13) INTEGRATION OF SPECIALTY PAVERS, OR STAMPED CONCRETE ALONG THE BULDING'S WALKWAY. SAID TREATMENT SHALL CONSTITUTE A MINIMUM OF 60 PERCENT OF WALKWAY AREA.
- 8-(14) WATER ELEMENTS, SUCH AS A DECORATIVE FOUNTAIN OR SIMILAR WATER FEATURE, A MINIMUM OF 300 SQUARE FET IN AREA.



project info:

ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, CDP FLORIDA REGISTERED ARCHITECT # AR 93259

drawing data:

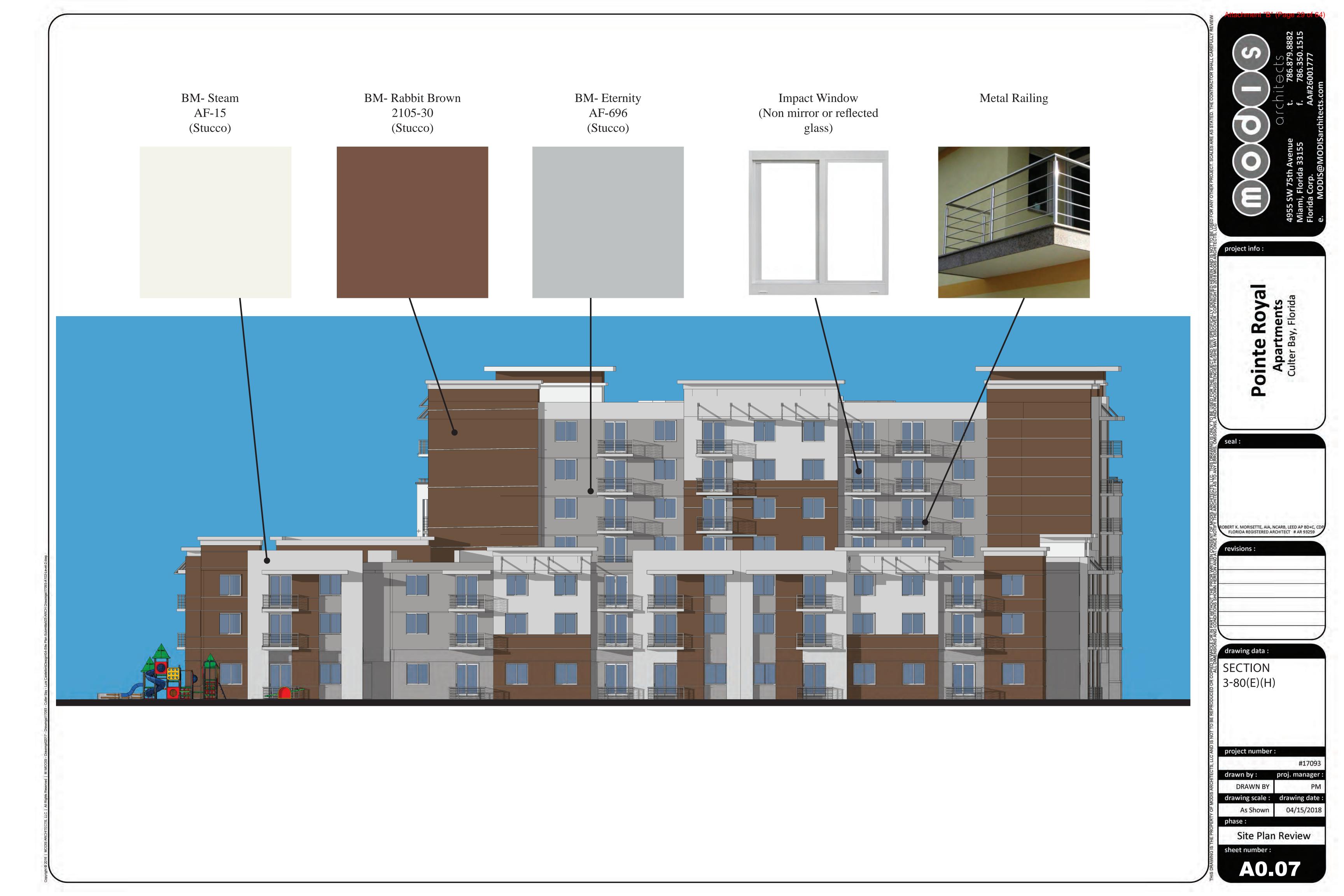
SECTION 3-80(U)

project number:

#17093 drawn by: proj. manager: DRAWN BY drawing scale: drawing date: 04/16/2019

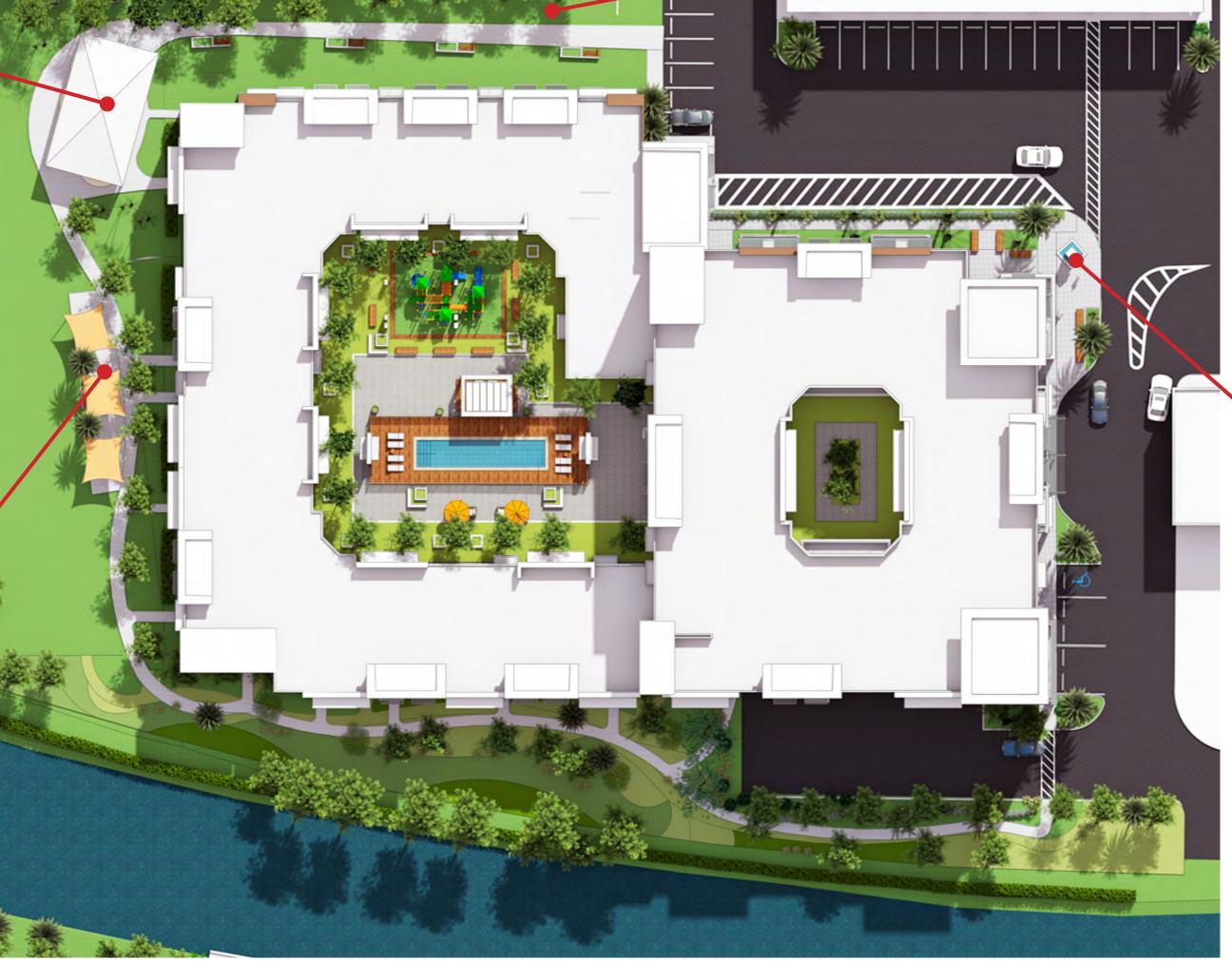
Site Plan Review

sheet number: A0.06

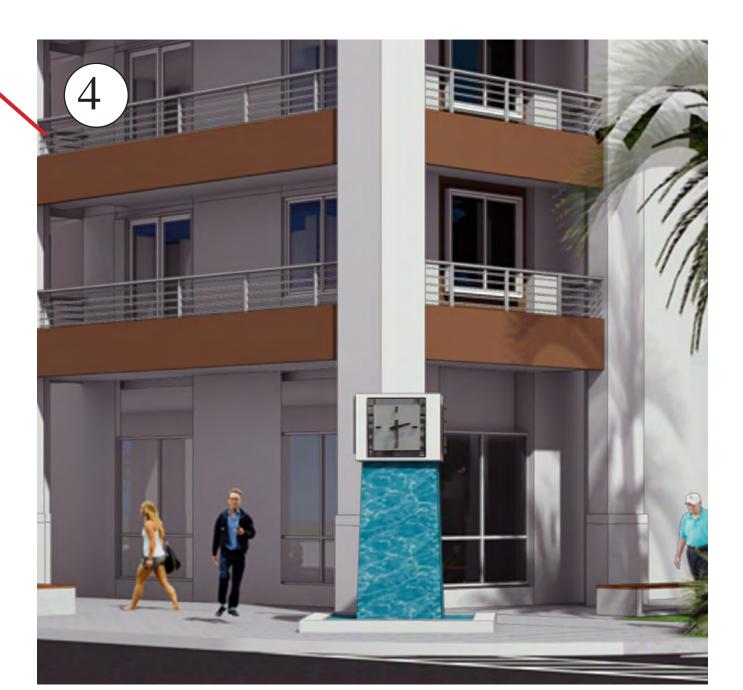






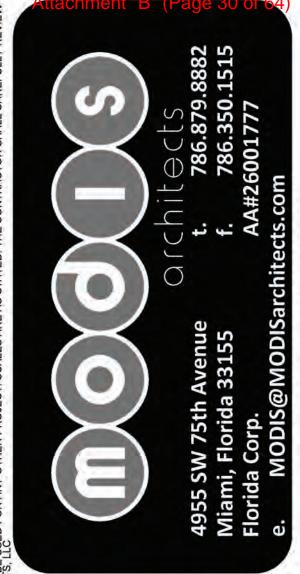






AS PER SECTION 3-80(T):

- 1-(1) PATIO WITH A MINIMUM OF 1,000 SQ FT IN AREA WITH SHADED SEATING 2-(2) PEDESTRIAN PLAZA WITH A MINIMUM OF 1,000 SQ FT IN AREA WITH BENCHES AND SHADE STRUCTURES
- 3-(5) OUTDOOR SHADED PLAYGROUND AREA WITH A MINIMUM OF 1,000 SQ FT IN
- AREA
 4-(8) FOCAL FEATURE



T ROYALE

PO

ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, CDP FLORIDA REGISTERED ARCHITECT # AR 93259

evisions :

drawing data :

SECTION 3-80(T)

project number :

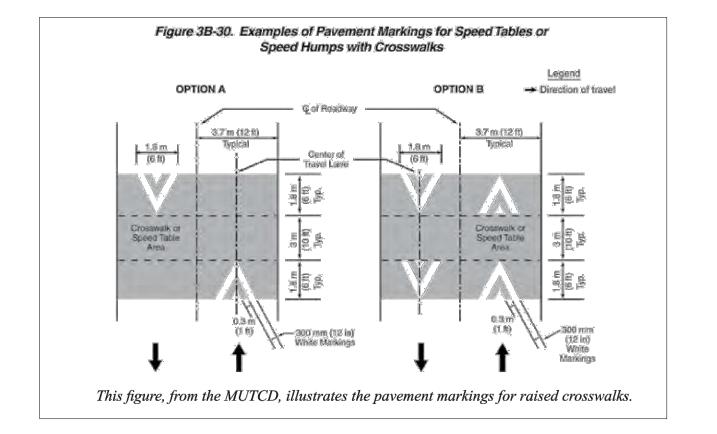
#17093
drawn by: proj. manager:

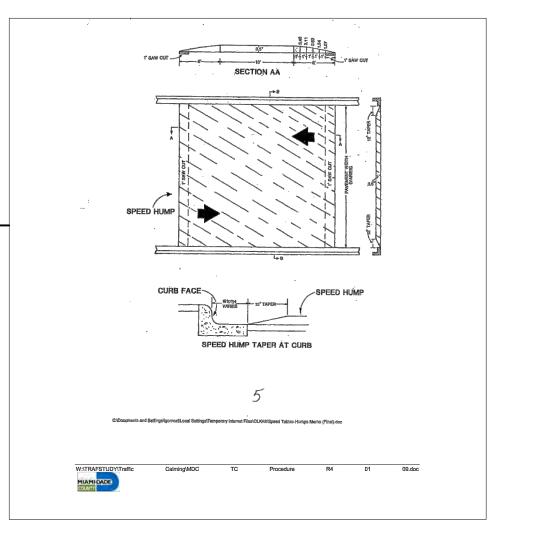
DRAWN BY PM
drawing scale: drawing date:

As Shown 04/16/2019

Site Plan Review

sheet number:
A0.08





Typical Speed Table



LEGEND



1. Right turn only from apartment drive aisle onto US-1



2. No Left Turn from Apartment Egress at Panera Bread

4. Introduce Crosswalks

/// 5. Create pedestrian zone striping in front of all of Winn Dixie

6. Re-instate fire lane striping

7. Stop and Pedestrian Crossing signs are needed along the drive aisle closest to shopping center

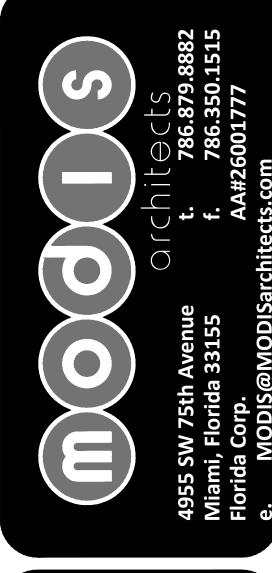
FLUORESCENT CROSSWALK SIGNS

8. Stop Signs along internal North-**South Collector**

9. SPEED TABLE WITH THERMO PLASTIC LINES

■ ■ ■ 10. Pedestrian Circulation to U.S. 1

NOTE: ALL LOCATION OF SIGNS AND SPEED TABLE TO BE DETERMED AT PERMITING



project info:

, C	seal:
אטאא	
ANY	
AS I	
ים ודי הי	
HE AR	
N HEREON AND ALONCE NOTIFY THE ARCHITECT AS TO ANY ERRORS, OMIS	ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, FLORIDA REGISTERED ARCHITECT # AR 93259
5 7	revisions:
N AND I	

drawing data: **TRAFFIC**

CIRCULATION

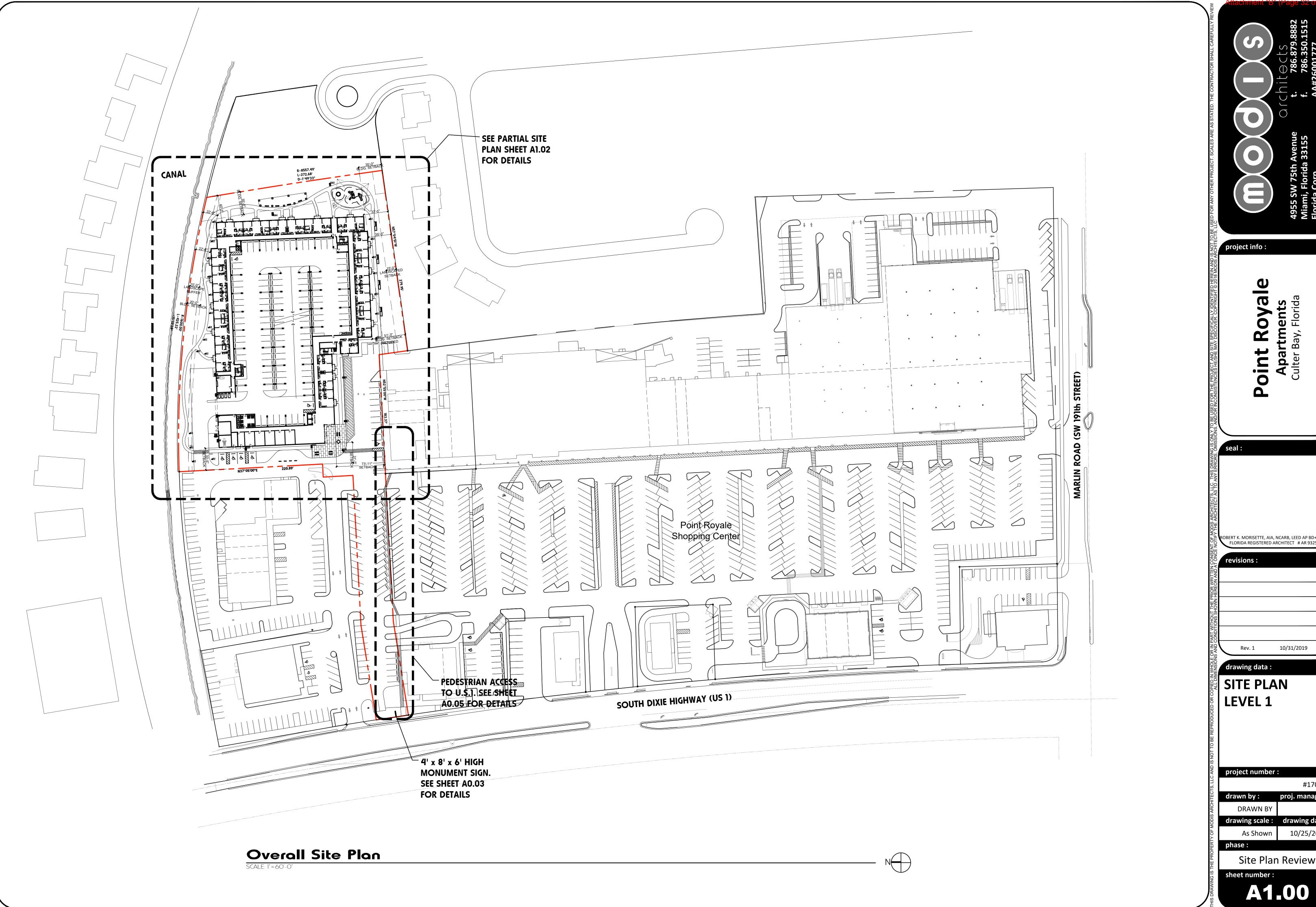
project number: drawn by: proj. manager: DRAWN BY

drawing scale: drawing date: As Shown 10/25/2019

Site Plan Review

sheet number:

A0.09



project info:

ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, CDP FLORIDA REGISTERED ARCHITECT # AR 93259

Rev. 1 10/31/2019

drawing data: SITE PLAN

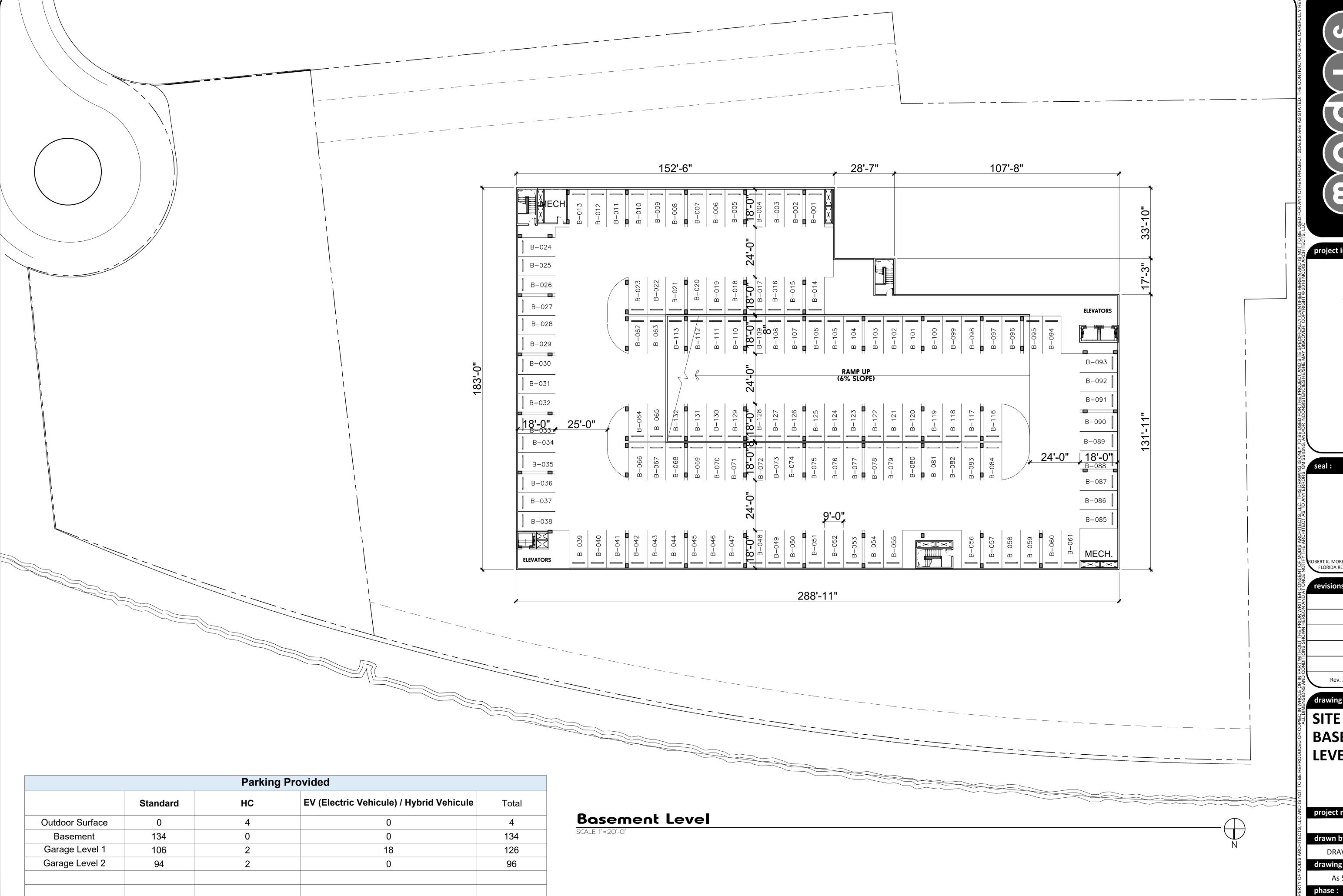
project number :

#17093 drawn by: proj. manager:

DRAWN BY drawing scale: drawing date: 10/25/2019 As Shown

Site Plan Review

sheet number:



360 spaces

Total Parking Provided

ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, CE FLORIDA REGISTERED ARCHITECT # AR 93259

drawing data: **SITE PLAN BASEMENT LEVEL**

project number:

#17093 drawn by: proj. manager:

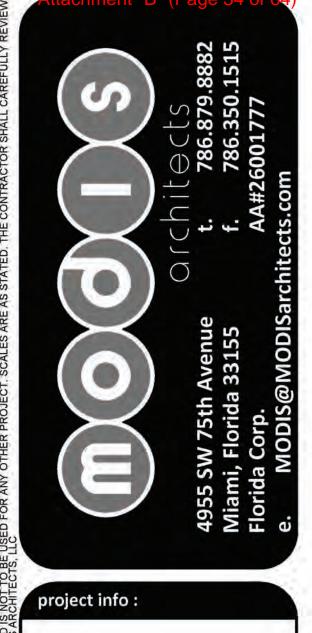
DRAWN BY drawing scale: drawing date: 10/25/2019 As Shown

Site Plan Review

sheet number :

A1.01





AT ROYALI

ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, CDP FLORIDA REGISTERED ARCHITECT # AR 93259

revisions:

drawing data :

SITE PLAN EXHIBIT

oject number :

drawn by: proj. manager:

DRAWN BY PM

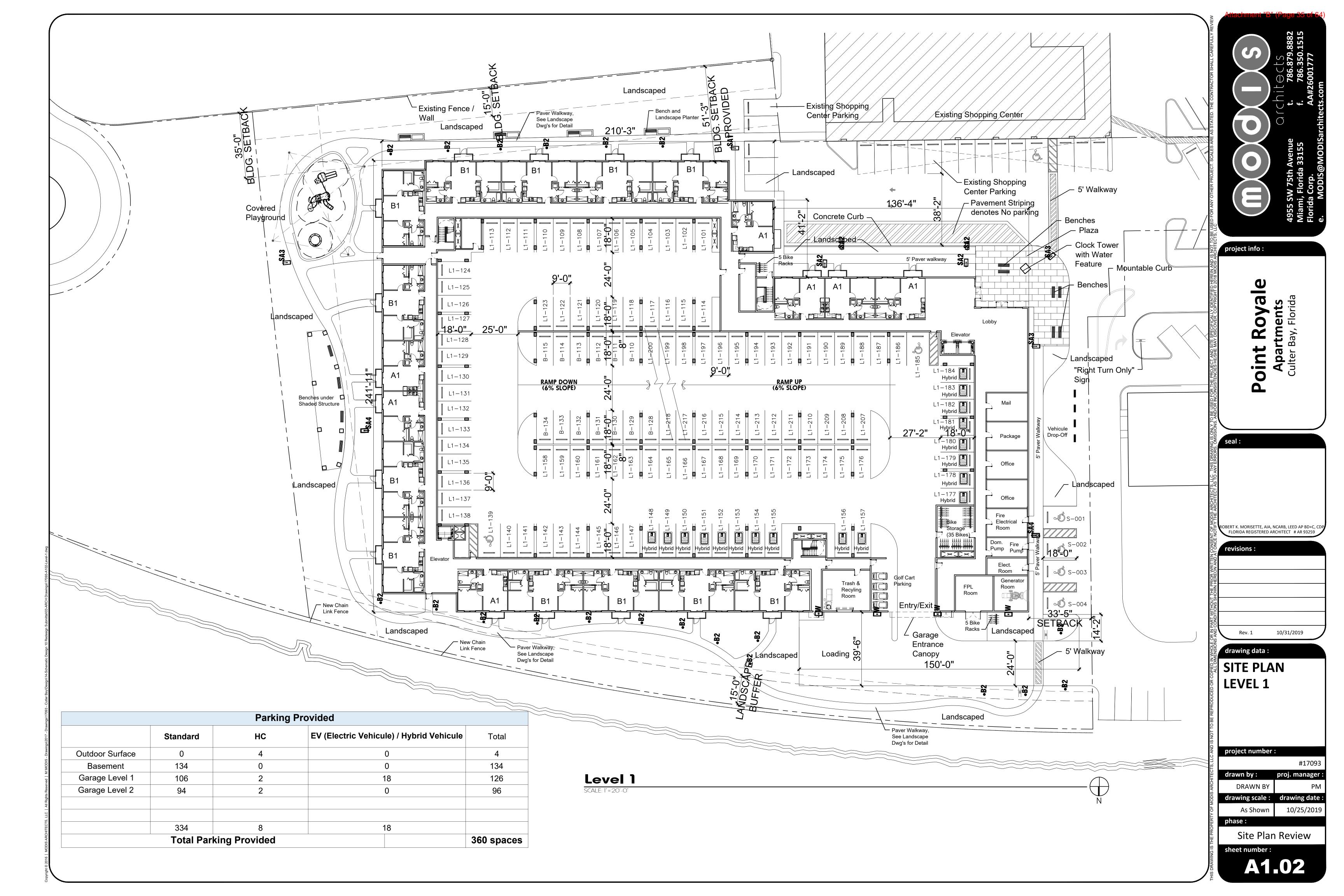
drawing scale: drawing date:

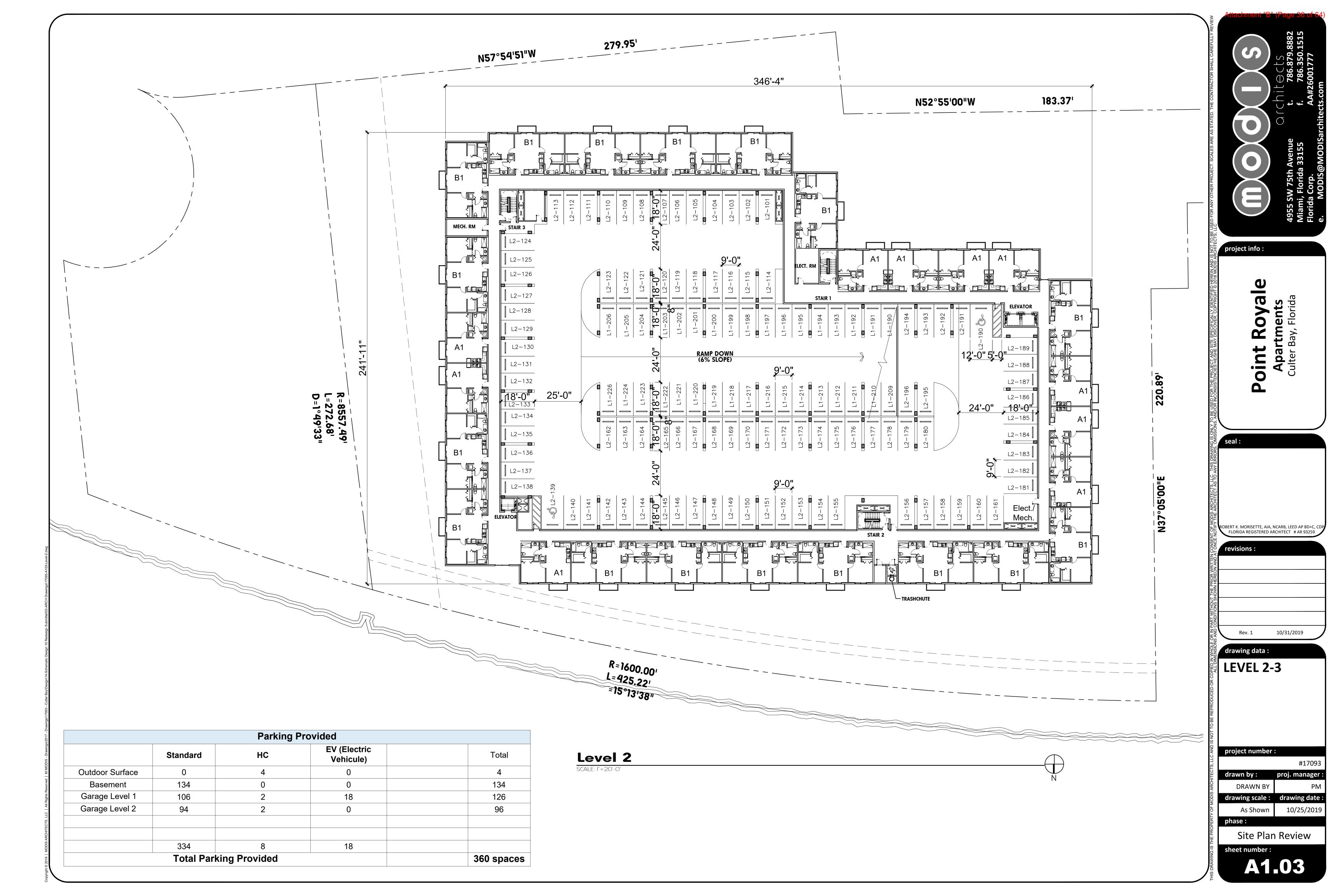
As Shown 04/16/2019

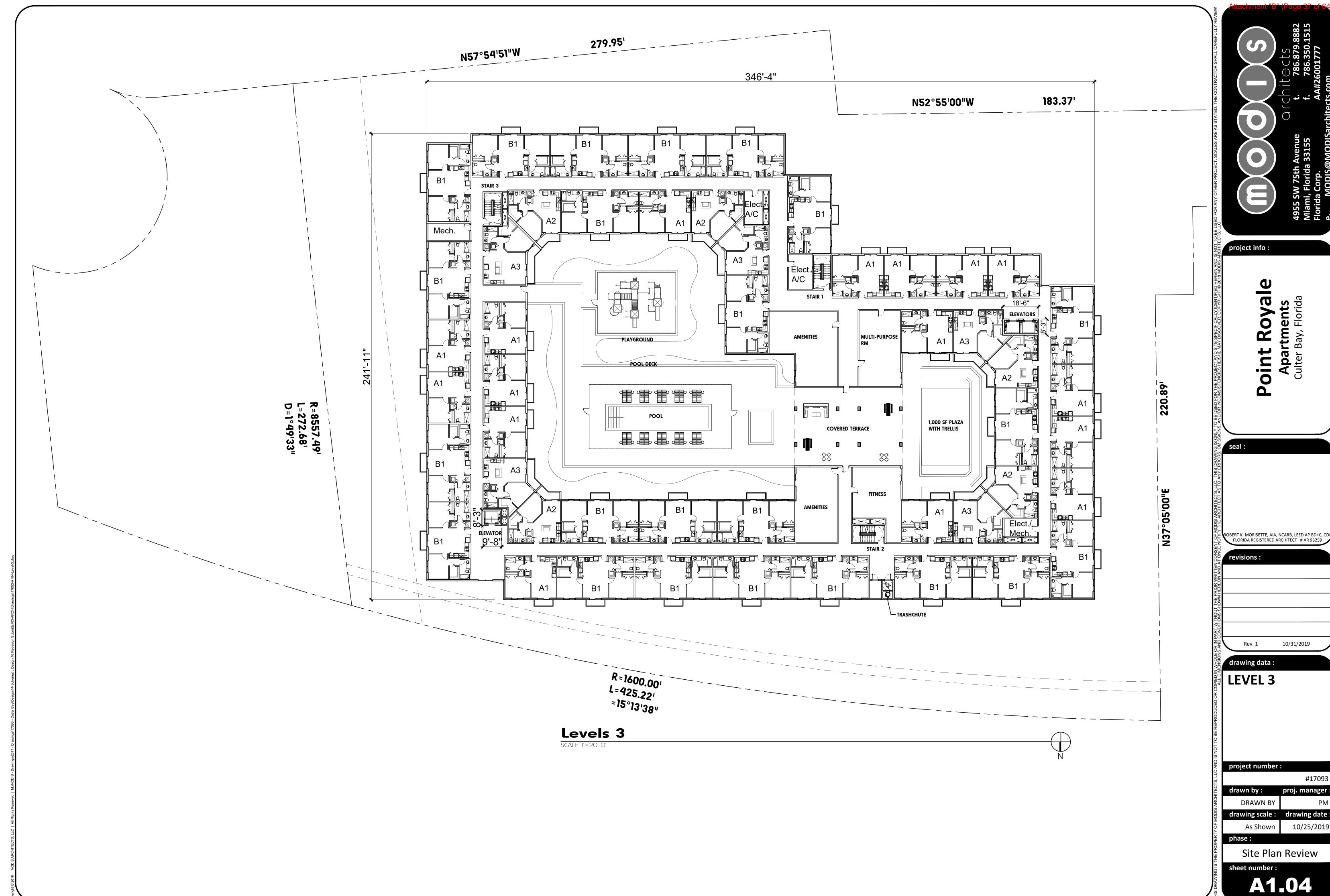
phase:

Site Plan Review

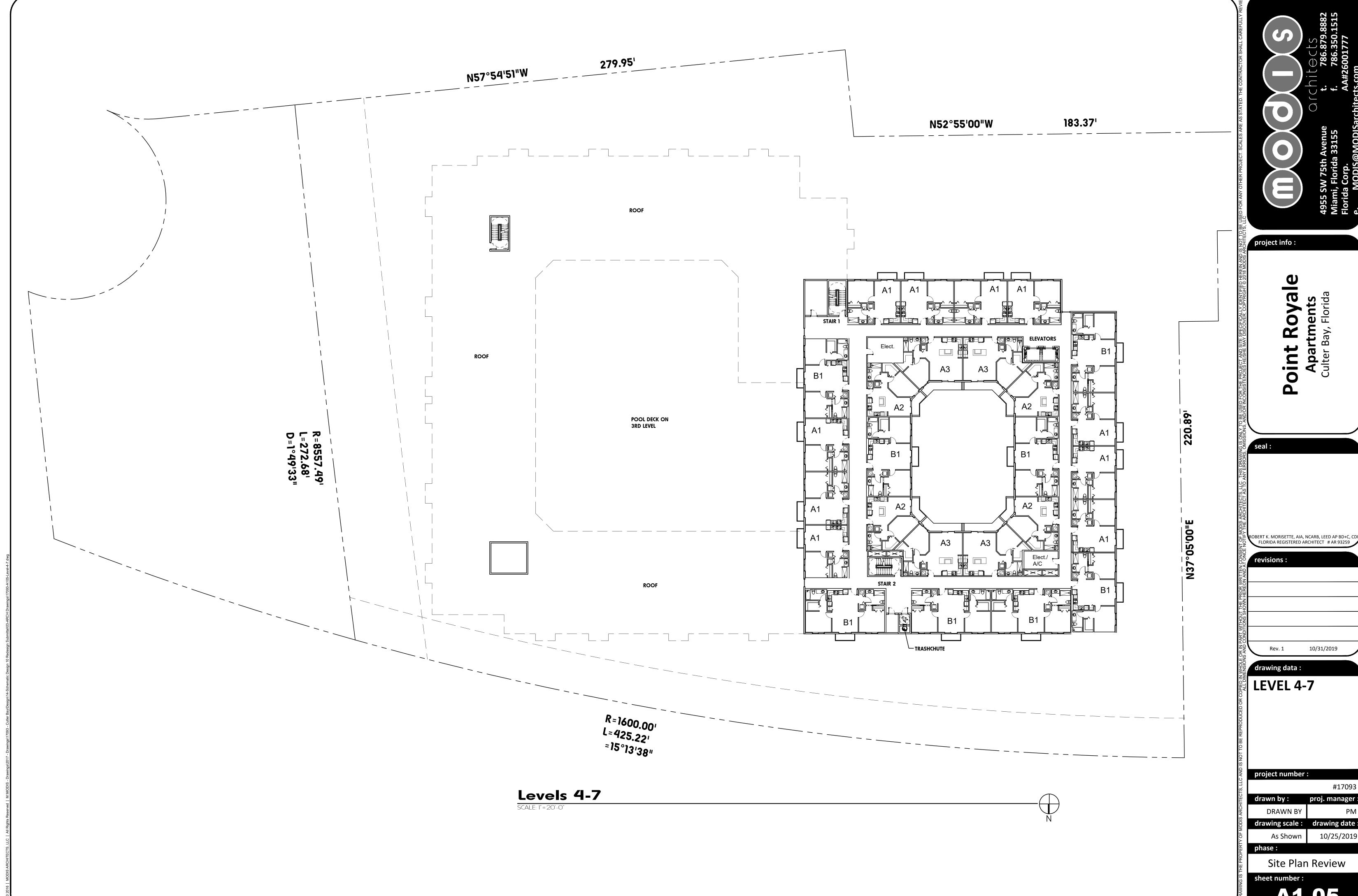
sheet number:
A1.02C







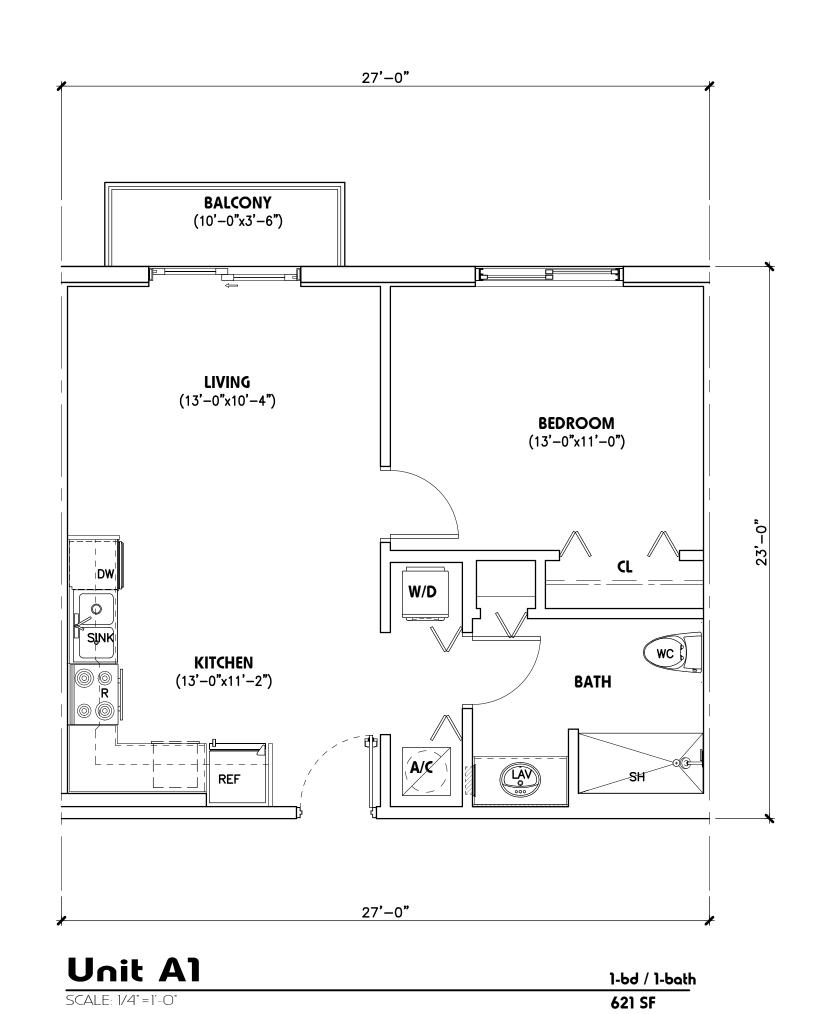
#17093

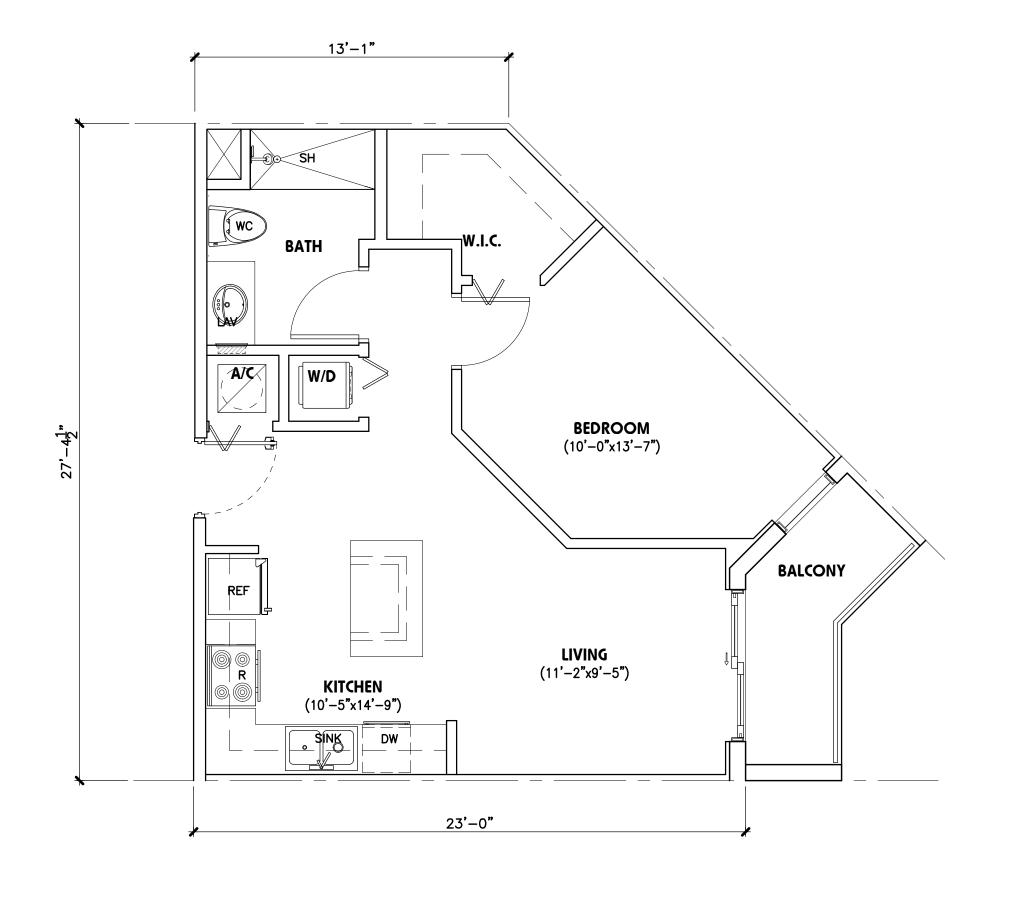


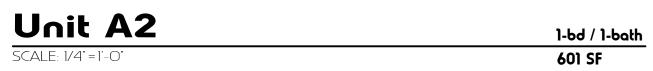
ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, CDI FLORIDA REGISTERED ARCHITECT # AR 93259

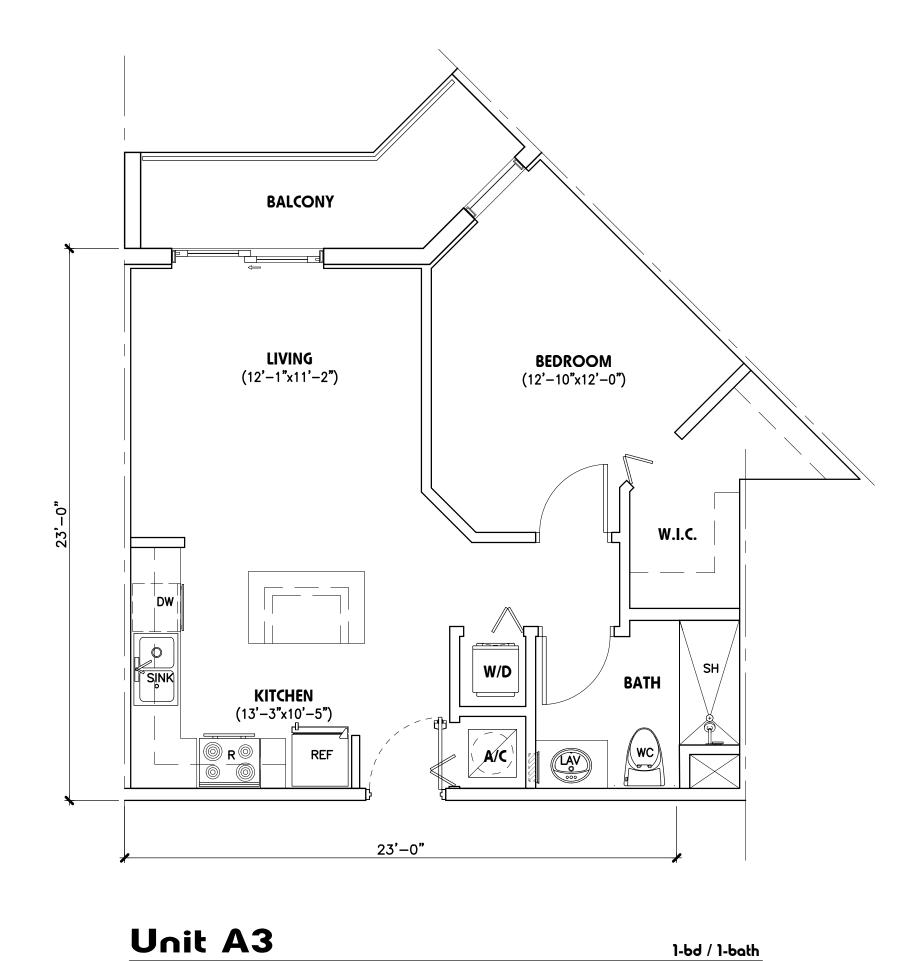
#17093 drawing scale: drawing date:

A1.05



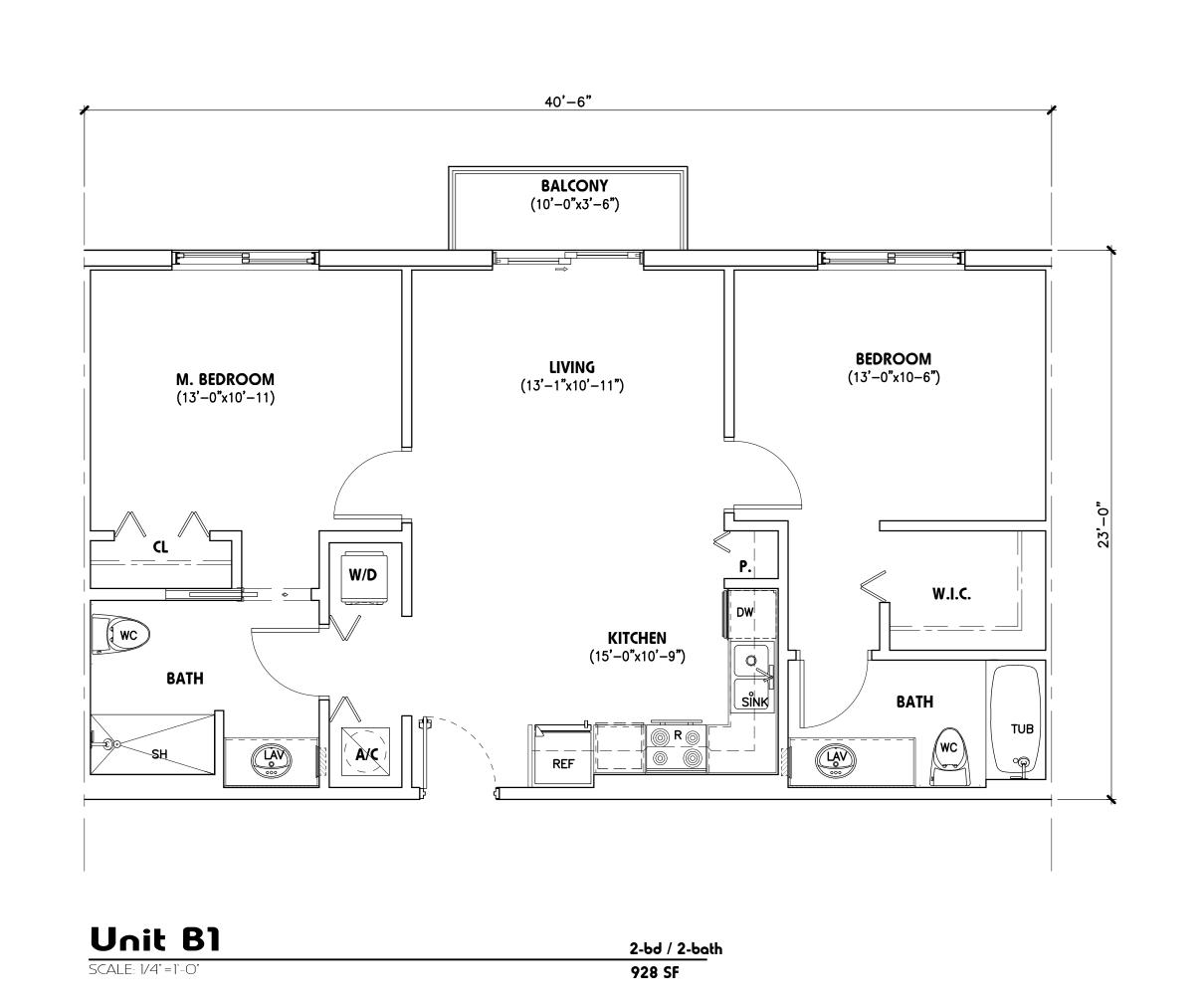


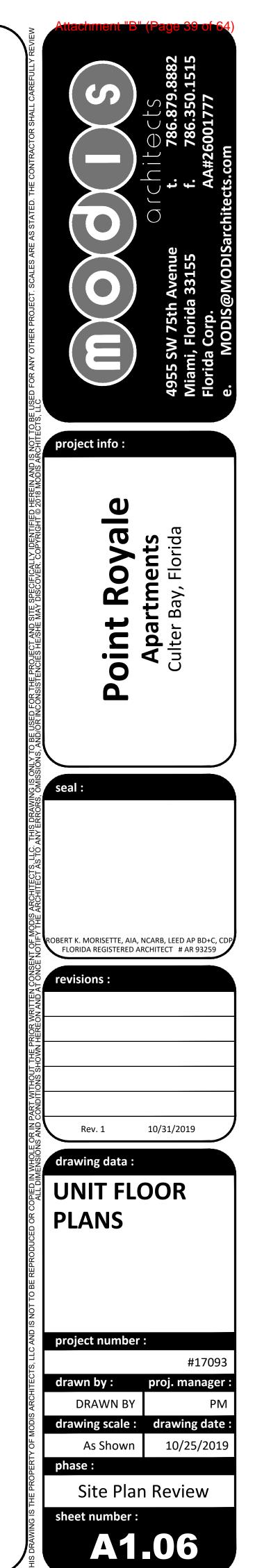




618 SF

SCALE: 1/4" = 1'-0"



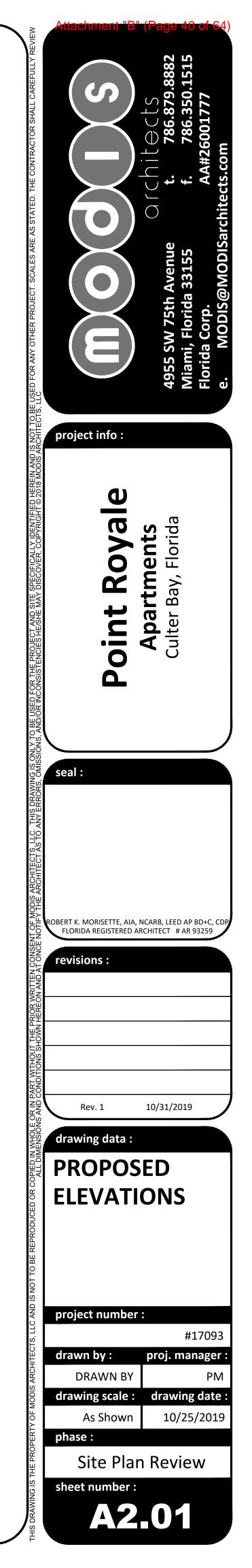




NORTH ELEVATION



SOUTH ELEVATION

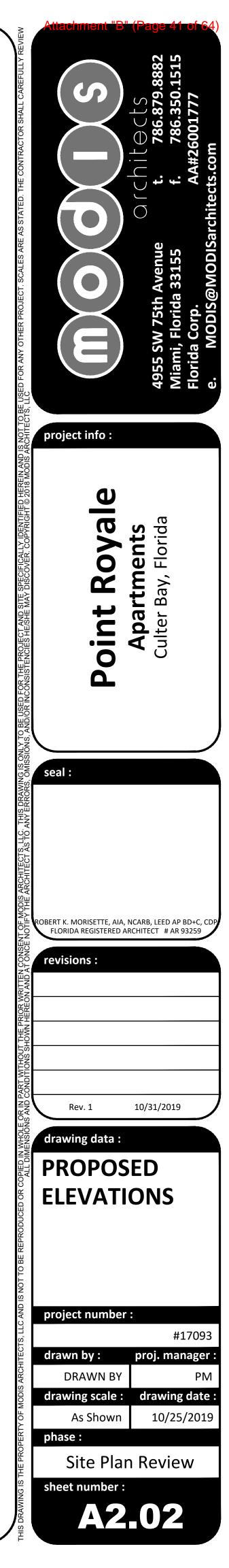




EAST ELEVATION



WEST ELEVATION





USED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ASSESSIVED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ASSESSIVED FOR ANY OTHER PROJECT. SCALES ARE AS STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ASSESSIVED FOR ANY OTHER PROJECT. SCALES AND STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ASSESSIVED FOR ANY OTHER PROJECT. SCALES AND STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ASSESSIVED FOR ANY OTHER PROJECT. SCALES AND STATED. THE CONTRACTOR SHALL CAREFULLY REVIEW ASSESSIVED FOR ANY OTHER PROJECT. SCALES AND SCALES AND

ш

Apartments

ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, CDP FLORIDA REGISTERED ARCHITECT # AR 93259

evisions :

drawing data:

CONCEPTUAL PROJECT RENDERING

project number :

#17093

drawn by: proj. manager:

DRAWN BY PM

drawing scale: drawing date:

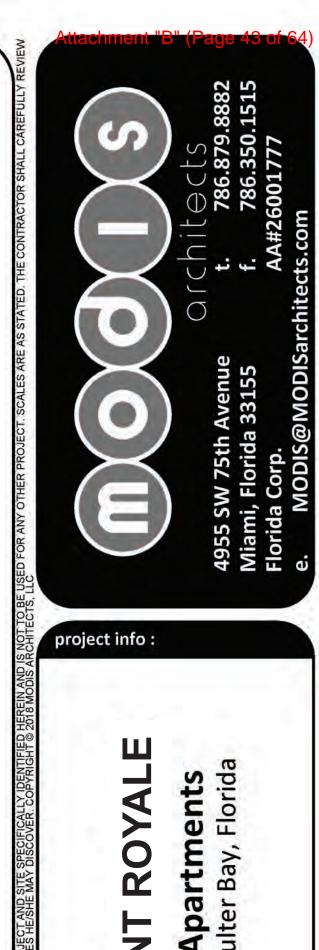
As Shown 04/16/2019

Site Plan Review

sheet number:
A3.01







PO

seal:

ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, CDP FLORIDA REGISTERED ARCHITECT # AR 93259

visions :

drawing data:

CONCEPTUAL PROJECT RENDERING

project number :

drawn by: proj. manager:

DRAWN BY PM

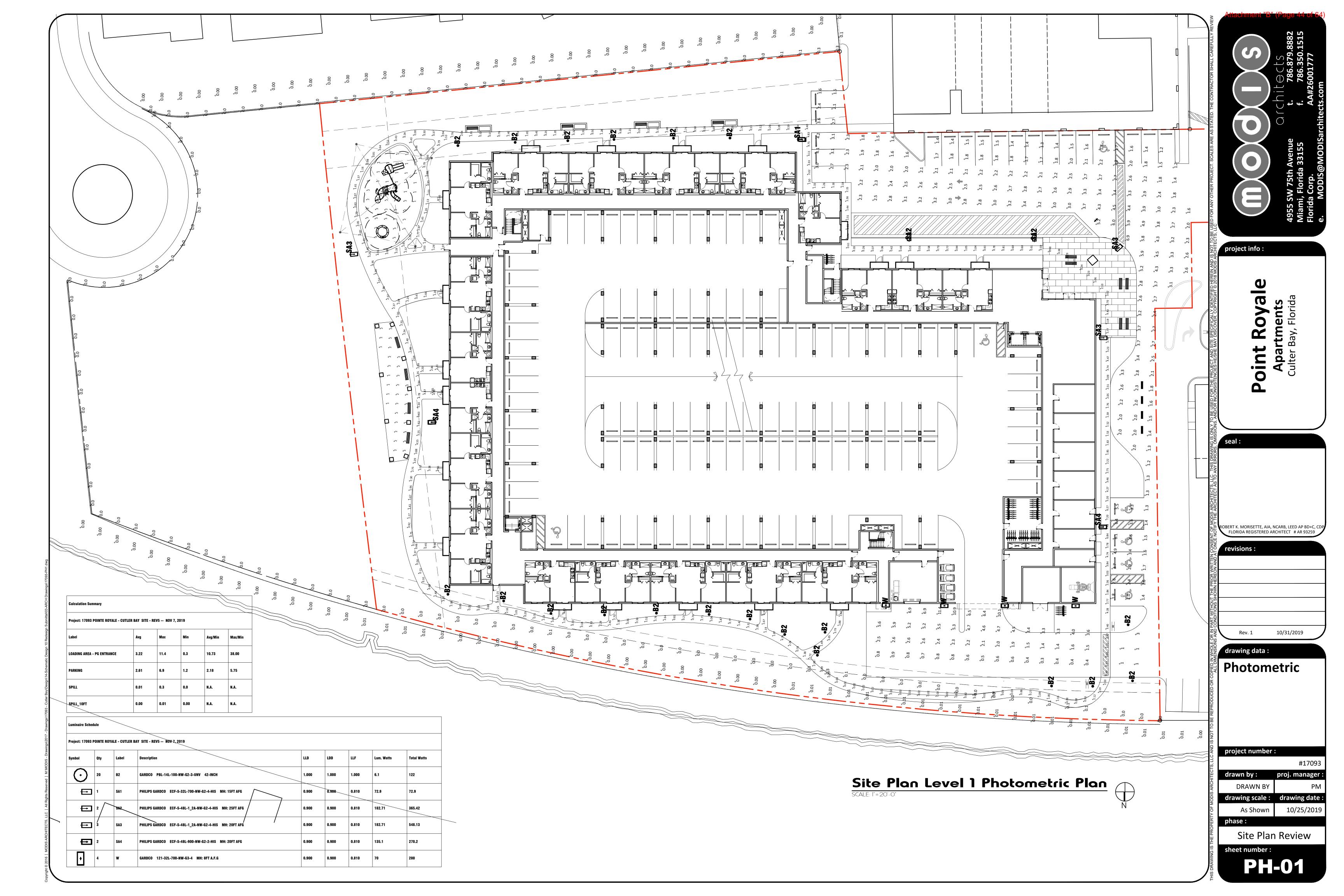
drawing scale: drawing date:

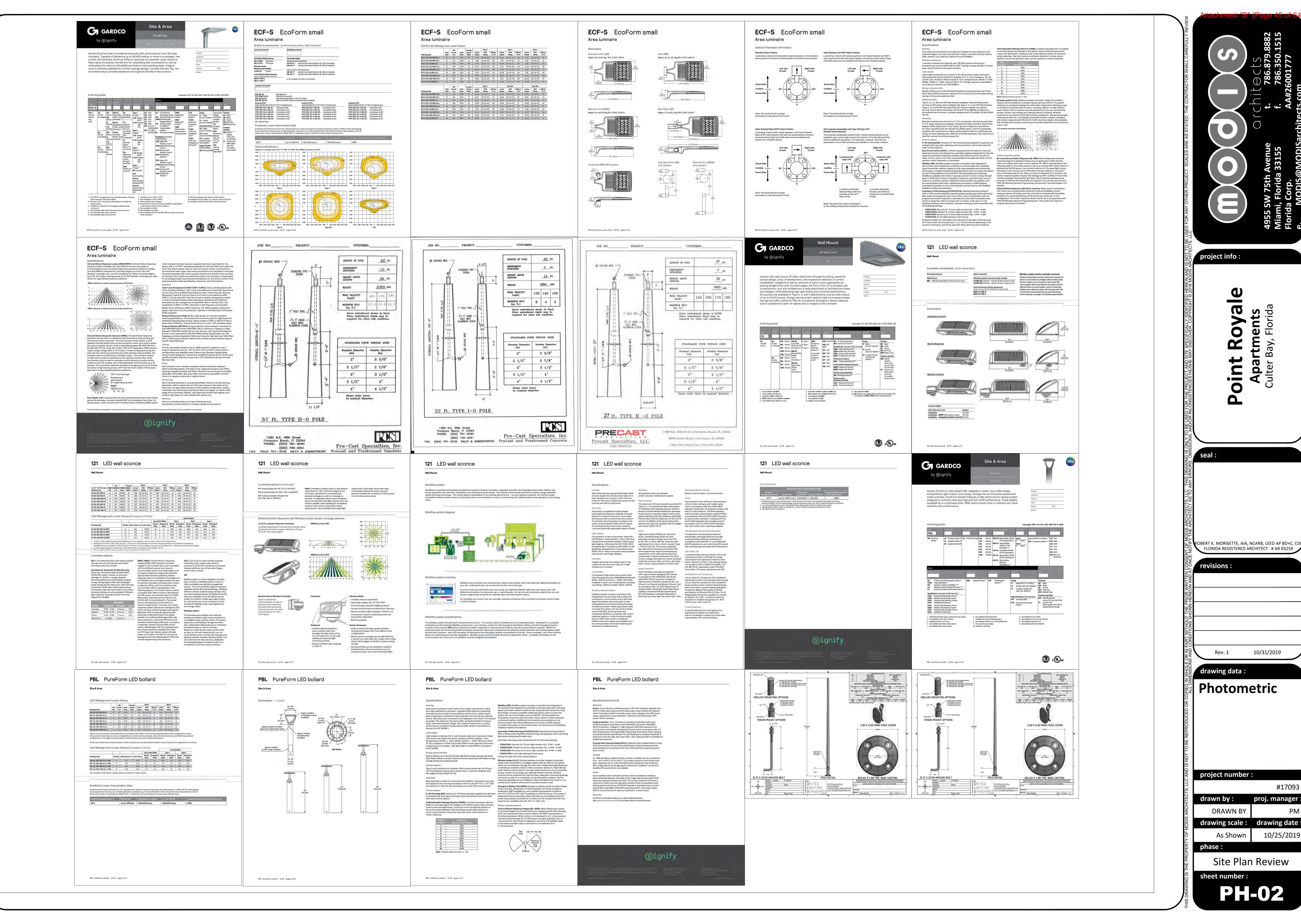
As Shown 04/16/2019

Site Plan Review

sheet number:

A3.02



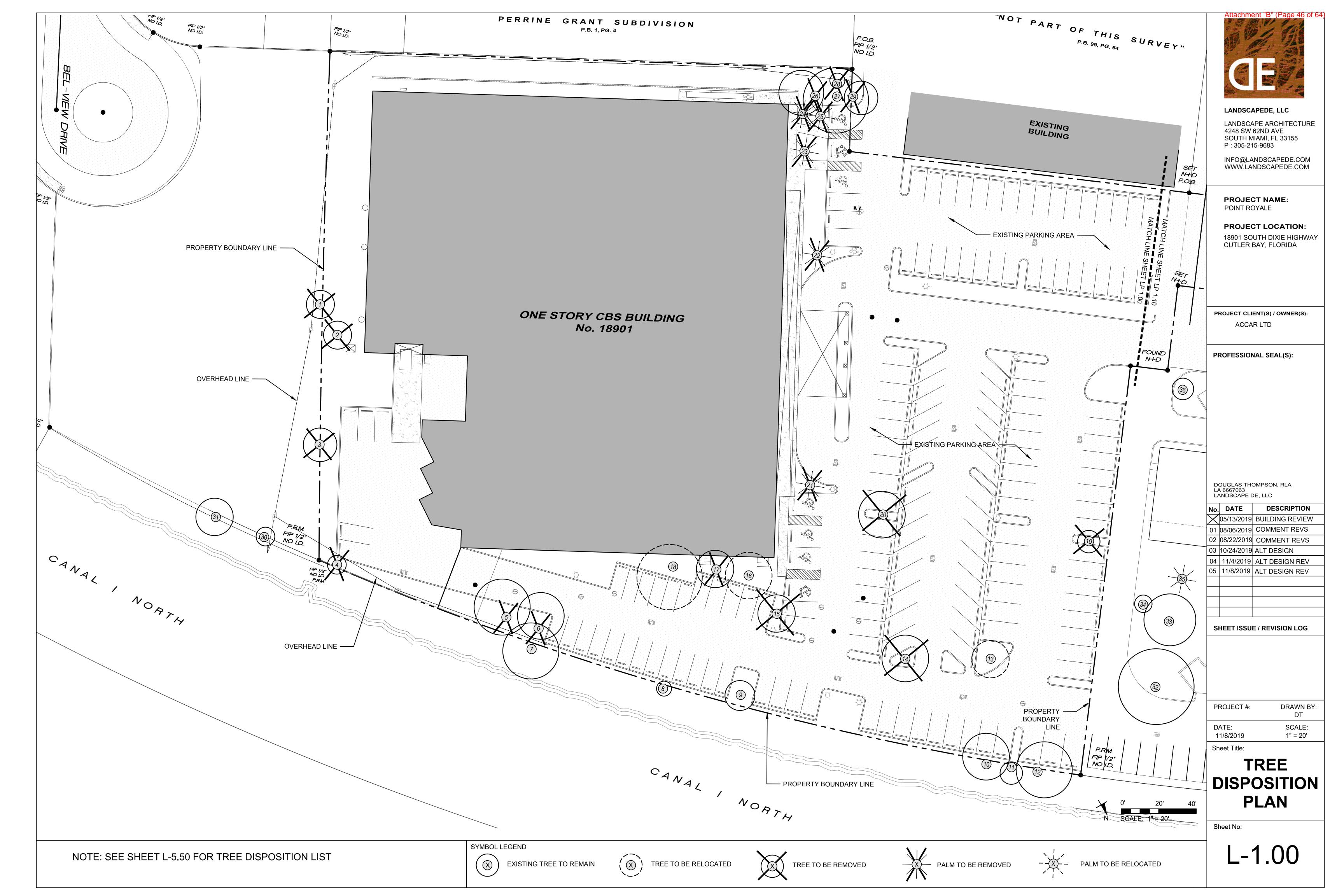


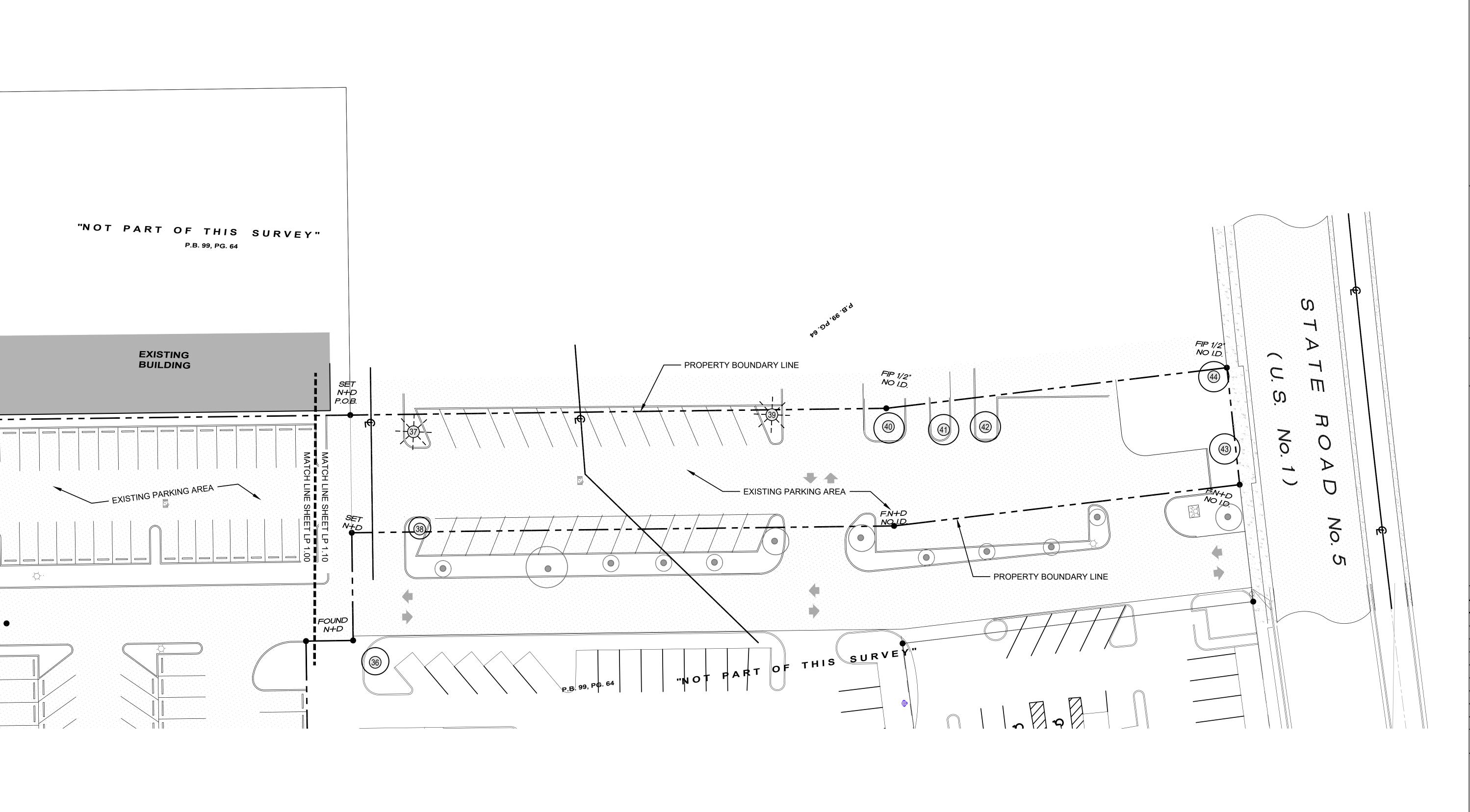
 $\boldsymbol{\sigma}$

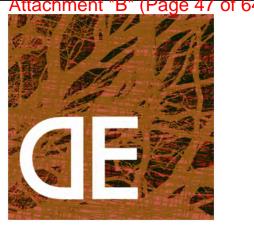
#17093

proj. manager

10/25/2019







LANDSCAPEDE, LLC

LANDSCAPE ARCHITECTURE 4248 SW 62ND AVE SOUTH MIAMI, FL 33155 P: 305-215-9683

INFO@LANDSCAPEDE.COM WWW.LANDSCAPEDE.COM

PROJECT NAME: POINT ROYALE

PROJECT LOCATION: 18901 SOUTH DIXIE HIGHWAY CUTLER BAY, FLORIDA

PROJECT CLIENT(S) / OWNER(S):

ACCAR LTD

PROFESSIONAL SEAL(S):

DOUGLAS THOMPSON, RLA LA 6667063

LANDSCAPE DE, LLC

No. DATE DESCRIPTION 05/13/2019 BUILDING REVIEW

01 08/06/2019 COMMENT REVS 02 08/22/2019 COMMENT REVS

03 10/24/2019 ALT DESIGN

04 | 11/4/2019 | ALT DESIGN REV 05 11/8/2019 ALT DESIGN REV

SHEET ISSUE / REVISION LOG

PROJECT #: DRAWN BY: DT

DATE: SCALE:

11/8/2019 1" = 20'

Sheet Title:

TREE DISPOSITION PLAN

Sheet No:

SCALE: 1" = 20'

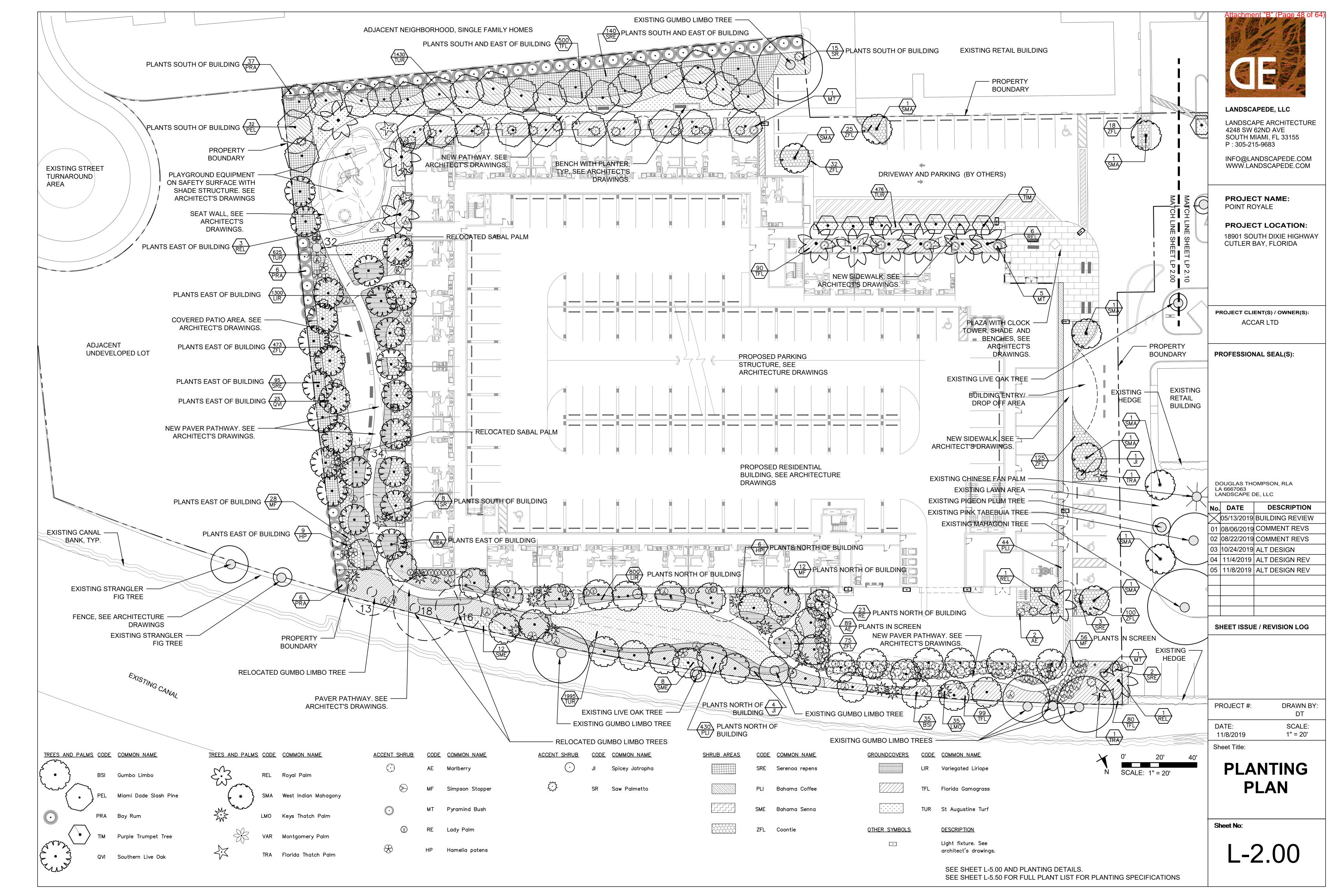
SYMBOL LEGEND NOTE: SEE SHEET L-5.50 FOR TREE DISPOSITION LIST

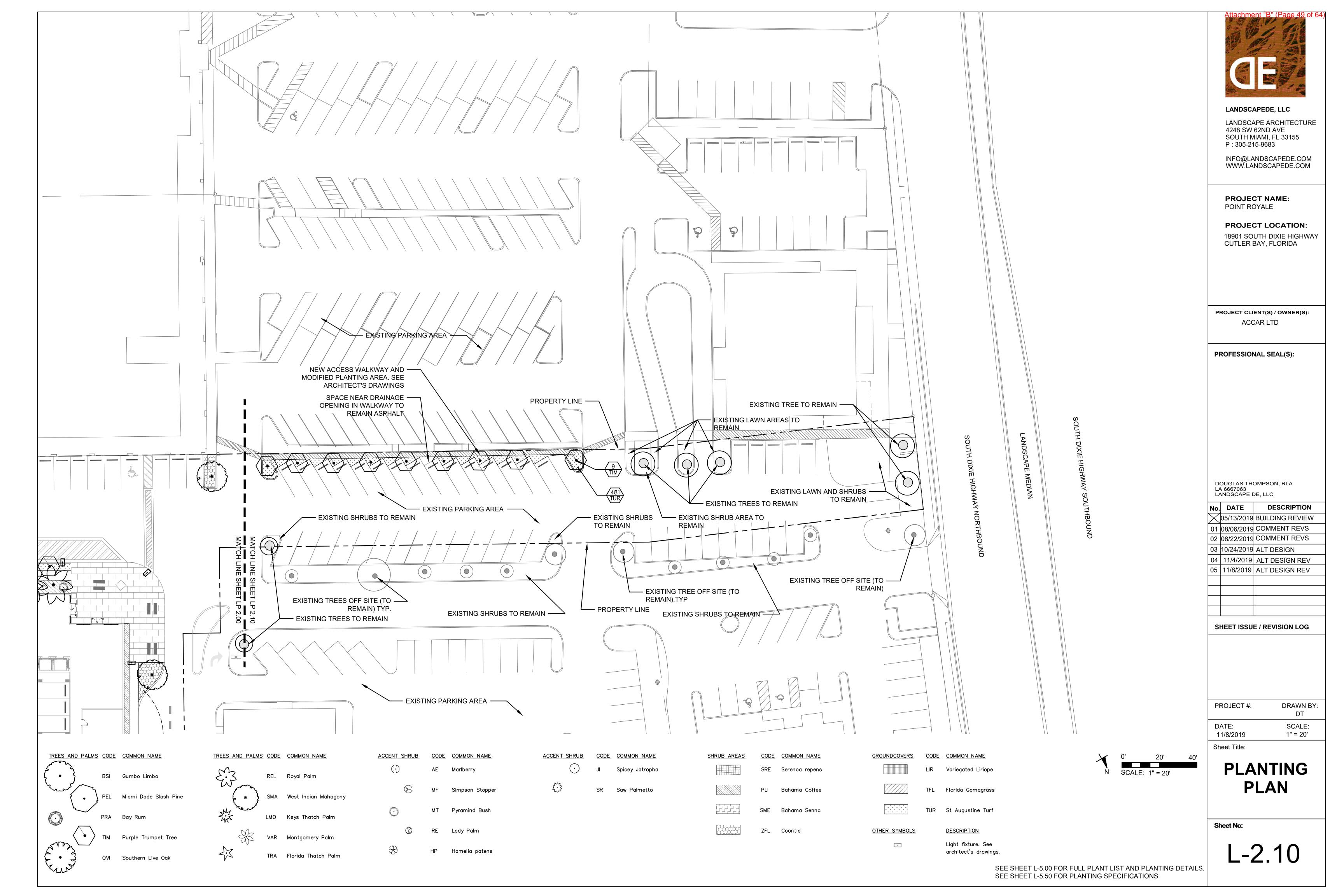
TREE TO BE RELOCATED

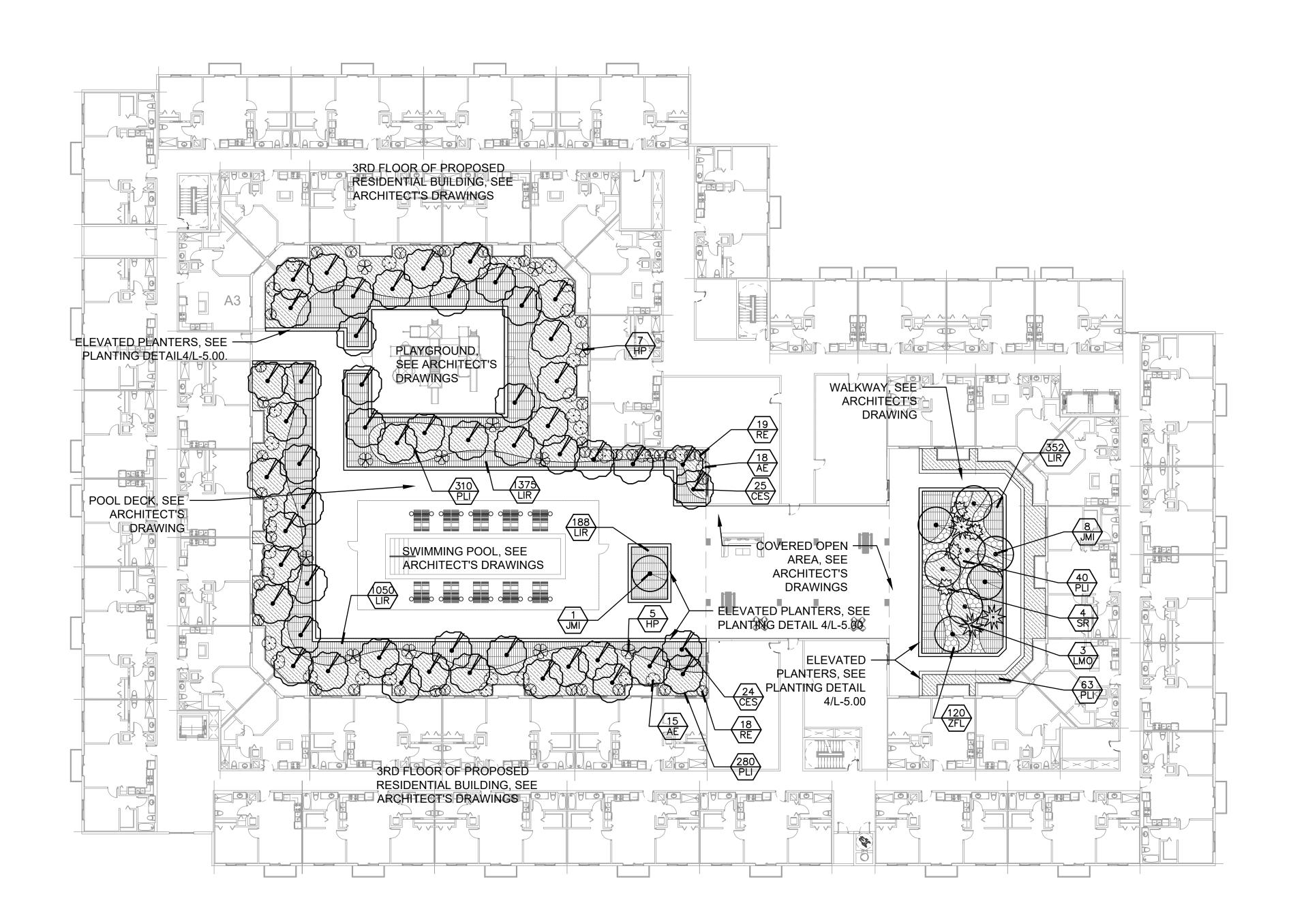
TREE TO BE REMOVED













LANDSCAPEDE, LLC

LANDSCAPE ARCHITECTURE 4248 SW 62ND AVE SOUTH MIAMI, FL 33155 P: 305-215-9683

INFO@LANDSCAPEDE.COM WWW.LANDSCAPEDE.COM

PROJECT NAME: POINT ROYALE

PROJECT LOCATION:

18901 SOUTH DIXIE HIGHWAY CUTLER BAY, FLORIDA

PROJECT CLIENT(S) / OWNER(S): ACCAR LTD

PROFESSIONAL SEAL(S):

DOUGLAS THOMPSON, RLA LA 6667063 LANDSCAPE DE, LLC

No.	DATE	DESCRIPTION
X	05/13/2019	BUILDING REVIEW
01	08/06/2019	COMMENT REVS
02	08/22/2019	COMMENT REVS
03	10/24/2019	ALT DESIGN
04	11/4/2019	ALT DESIGN REV
05	11/8/2019	ALT DESIGN REV

SHEET ISSUE / REVISION LOG

PROJECT #:	DRAWN BY
	DT

DATE: SCALE: 11/8/2019

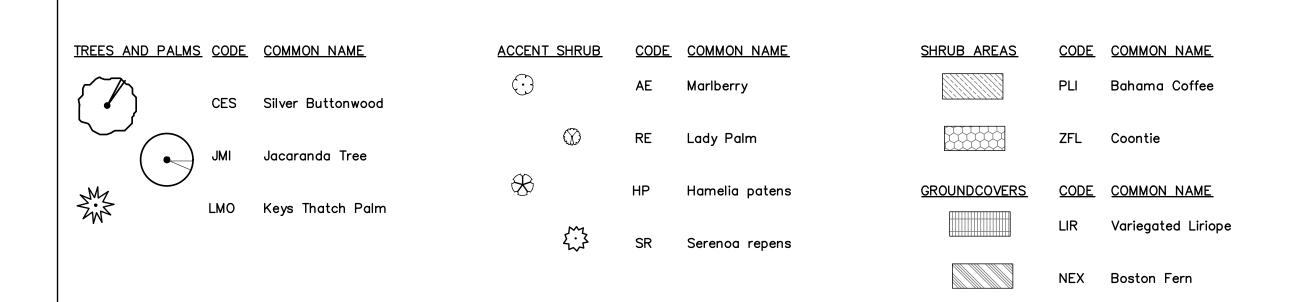
Sheet Title:

SCALE: 1" = 20'

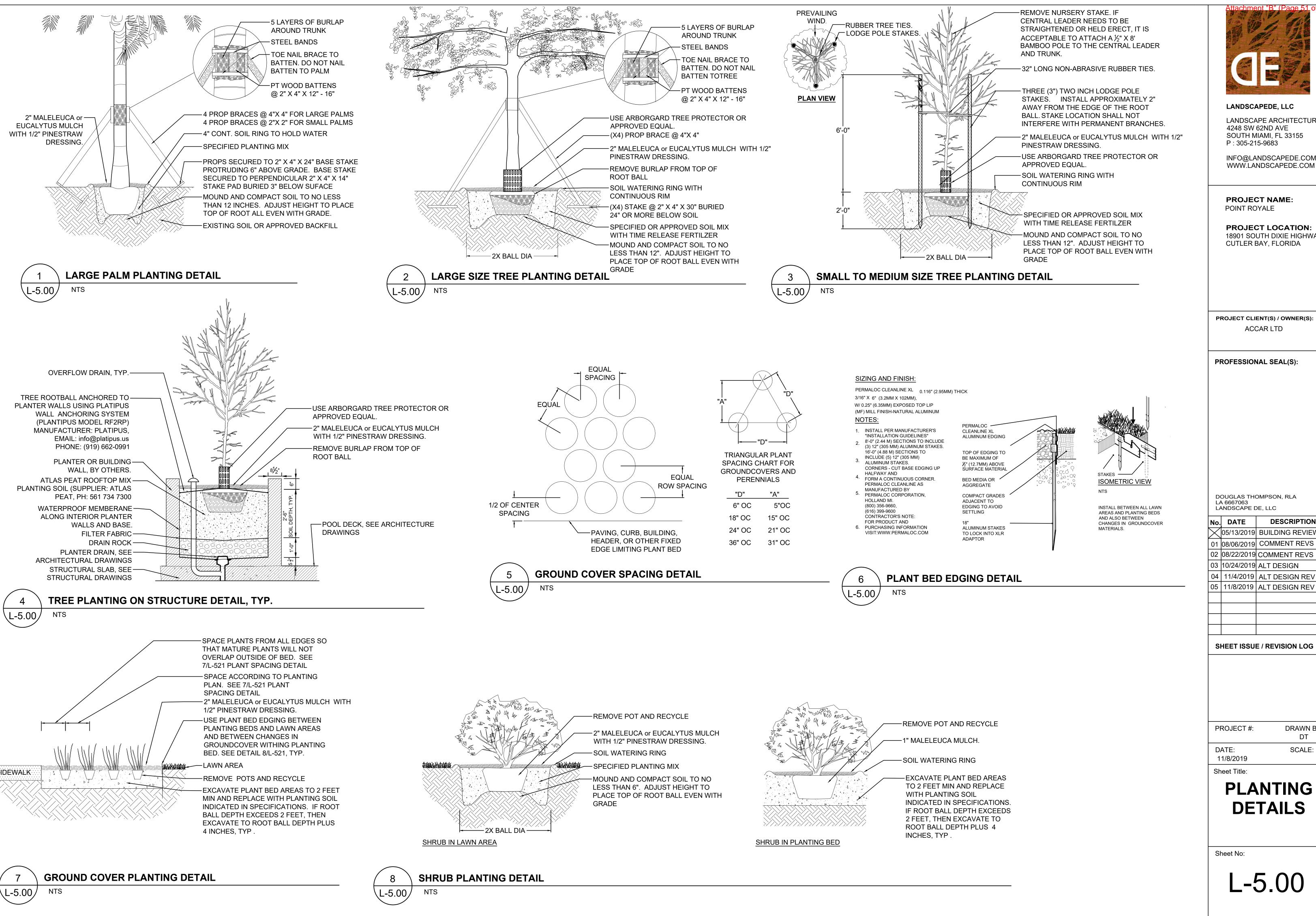
PLANTING PLAN

Sheet No:

L-2.30



SEE SHEET L-5.00 AND PLANTING DETAILS. SEE SHEET L-5.50 FOR FULL PLANT LIST FOR PLANTING SPECIFICATIONS



LANDSCAPEDE, LLC

LANDSCAPE ARCHITECTURE 4248 SW 62ND AVE SOUTH MIAMI, FL 33155

INFO@LANDSCAPEDE.COM WWW.LANDSCAPEDE.COM

PROJECT NAME:

PROJECT LOCATION: 18901 SOUTH DIXIE HIGHWAY CUTLER BAY, FLORIDA

PROJECT CLIENT(S) / OWNER(S):

PROFESSIONAL SEAL(S):

DOUGLAS THOMPSON, RLA

LANDSCAPE DE, LLC

DESCRIPTION X |05/13/2019| BUILDING REVIEW 01 |08/06/2019 | COMMENT REVS 02 |08/22/2019 COMMENT REVS 03 10/24/2019 ALT DESIGN 04 | 11/4/2019 | ALT DESIGN REV

SHEET ISSUE / REVISION LOG

PROJECT #:

DRAWN BY: DT

SCALE:

PLANTING DETAILS

L-5.00

PLANT LISTS

DEE	AND PALM	<u> </u>							
SYM	ACTION	SPECIES	COMMON NAME	DBH (in)	□+ (f+)	Canonu Bia (ft)	Canopy Area (sf)	Tree Cr	NOTES
1	Remove	Ficus aurea	Strangler Fig	7	22	15	176	ii ee ci	Remove. Poor condition
2	Remove		Pink Tabebuia	15	35	15	176		Poor condition. Large open wound on trunk.
3	Remove	Tabebuia pallida	Pink Tabebula	11	25	18	254		Poor condition. Wounds on trunk.
		†	Pink Tabebuia	14	18	10	79		
4	Remove	Tabebuia pallida					706		Poor structure.
5	Remove	Bursera simaruba	Gumbo Limbo	12	25	30	+		Poor structure.
6	Remove	Bursera simaruba	Gumbo Límbo	14	25	25	491		Poor structure.
7		Bursera simaruba	Gumbo Límbo	17	25	30	707	3	
8	To Remain	<u> </u>	Live Oak	5	16	8	50	2	
9	To Remain	Bursera simaruba	Gumbo Limbo	14	20	16	201	3	
10		Bursera simaruba	Gumbo Limbo	12	25	25	491	3	
11		Bursera simaruba	Gumbo Limbo	18	25	12	113	3	
12		Bursera simaruba	Gumbo Límbo	12	25	30	707	3	
13	Relocate	Bursera simaruba	Gumbo Límbo	20	25	20	314	4	
14	Remove		Mahoe	18	25	25	491		Invasive species
15	Remove	Bursera simaruba	Gumbo Limbo	13	28	25	491		
16	Relocate	Bursera simaruba	Gumbo Limbo	14	32	25	491	3	
17	Remove	Bursera simaruba	Gumbo Limbo	10	32	20	314		Removal to reduce conflicts with adjacent trees to be relocat
18	Relocate	Bursera simaruba	Gumbo Límbo	16	32	35	962	3	
19	Remove	Bursera simaruba	Gumbo Limbo	10	20	12	113		
20	Remove	Bursera simaruba	Gumbo Limbo	13	18	25	491		
21	Remove	Carpentaria acuminata	Carpenter Palm	4	6 WD	8	50		Overall height
22	Remove	Carpentaria acuminata	Carpenter Palm	4	6 WD	8	50		Overall height
23	Remove	Syagrus romanzoffiana	Queen Palm	9	30	12	113		
24	Remove	Syagrus romanzoffiana	Queen Palm	9	30	12	113		
25	Remove	Syagrus romanzoffiana	Queen Palm	9	30	12	113		
26	Remove	Bursera simaruba	Gumbo Limbo	16	32	18	452		Unbalanced crown-Phototropism utility conflict
27	To Remain	Bursera simaruba	Gumbo Limbo	29	40	35	962	5	
28	Remove	Bursera simaruba	Gumbo Limbo	8	16	8	50		Poor condition.
29	Remove	Bursera simaruba	Gumbo Limbo	12	20	18	254		Poor condition.
30	To Remain	Ficus aurea	Strangler Fig	8	15	10	79	2	Trim fencing from tree flush with trunk, no protrusions
31	To Remain	Ficus aurea	Strangler Fig	16	20	20	314	3	Trim fencing from tree flush with trunk, no protrusions
32	To Remain	Sweitenia mahagoni	West Indian Mahagony	20	35	45	1590		off property
33	To Remain	Tabebuia pallida	Pink Tabebuia	29	45	28	616		off property, three trunk branching
34			Pigeon Plum	4	9	8	50		off property
35		Livistona chinensis	Chinese Fan Palm	9	14 WD		64		off property
36			Live Oak	4	15	10	79		off property
37	Relocate	Sabal Palmetto	Sabal Pam	12	10	8	50		
38		 	Live Oak	5	16	10	79	2	
39	Relocate	Sabal Palmetto	Sabal Pam	10	9	8	50		
40			Live Oak	4	16	8	50		
41		Eleocarpus decipiens	Japanese Blueberry	3	9	4	13		
42		Eleocarpus decipiens	Japanese Blueberry	4	10	5	20		
43		Eleocarpus decipiens	Japanese Blueberry	7	20	17	227	2	
44		Eleocarpus decipiens	Japanese Blueberry		19	18	254	2	
			ni Dade County regulatio			1 20			<u> </u>

Total Carlopy Wittigation	required per ivilari i Dade C	ounty regulations	
** Total tree credit per Ci	ty of Cutler Bay Land Develo	pment Code Sec. 3-103(3)	

tree credit per City of Cutler Bay Land Development Code Sec. 3-103(3)	4977.00*	43.00**	

TREES						
YMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES
ISI	Υ	35	Bursera simaruba	Gumbo Limbo	16'+ Ht, 4"+ DBH 6'+ Sp	high branched trees
EL	Υ	32	Pinus elliotii 'Densa'	Miami-Dade Slash Pine	18'+ Ht, 2.5"+ DBH 6'+ Sp	7'+ lifted canopy
RA	N	49	Pimenta racemosa	Bay Rum Tree	8',+ Ht, 2"+ DBH, 5'+ Sp	Buffer screen, full to base, dense
 QVI	Υ	25	Quercus virginiana	Live Oak	16'+ Ht, 4"+ DBH 6'+ Sp	
SMA	Υ	8	Swietenia mahagoni	West Indian Mahagony	16'+ Ht, 4"+ DBH 6'+ Sp	
TIM .	N	16	Tabebulea impetiginosa	Purple Trumpet Tree	16'+ Ht, 4"+ DBH 6'+ Sp	6'+ clearance
PALMS						
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES
REL .	Υ	11	Roystonea elata	Royal Palm	25' GW, full	
LMO	Υ	12	Leucothrinax morrisii	Keys Thatch Palm	5'-8'+ Ht ~25 Gal.	4 palms to be 2+ trunks at 5'+, 8 to be single 5'+, 3 to be 8'+
TRA	Υ	10	Thrinax radiata	Florida Thatch Palm	5'-8'+ Ht ~25 Gal.	4 palms to be 2+ trunks at 5'+, 6 to be single 5'+, 5 to be 8'+
ACCENT S	SHRUBS			'		
SYMBOL		QTY	SPECIES	COMMON NAME	SIZE	NOTES
AE	Υ	84	Ardisia escallonioides	Marlberry	8',+ Ht, 2"+ DBH, 4'+ Sp	full and dense
HP	Y	15	Hamelia Patens	Firebush	15 Gal, 5' Ht.	Location TBD
	N	5	Jatropha interrigma	Spicy Jatropha	6'+ Ht, 3'+Sp	
MT	Υ	7	Melochia tomentosa	Pyramid Bush	7 Gal 3' + Ht.	
MF	Y	99	Myrcianthes fragrans	Simpson Stopper	15 Gal, 5' Ht.	Shrub form. Full to base. Heavy
SR	Υ	59	Serenoa repens	Silver Saw Palmetto	30"+ Ht x 30"+	,
RE	N	23	Rhapis excelsa	Lady Palm	15 Gal, 5' Ht.	
SHRUB M	IASSES		·	· ·		
SYMBOL		QTY	SPECIES	COMMON NAME	SIZE	NOTES
PLI	Υ	474	Psychotria ligustrifolia	Bahama Coffee	30"+ Ht x 30"+, 42"OC	
SME	Y	20	Senna mexicana var. chapmanii	Bahama Senna	3' Ht x 3' Sp +, 48" OC	
SRE	Y	235	Serenoa repens	Silver Saw Palmetto	30"+ Ht x 30"+, 48" OC	50% White Silver 50% Green
ZFL	Y	848	Zamia floridana	Coontie	2'+ Ht x 2'+ Sp, 30" OC	
GROUND	COVERS			1		
SYMBOL		QTY	SPECIES	COMMON NAME	SIZE	NOTES
LIR	N	2100	Liriope muscari 'variegata'	Aztec Grass	1 Gal, 15" OC	1.0125
TUR	Y		Stenotaphrum secundatum 'Floratam'	St Augustine Floratam	Sod square feet	
TFL	Y	769	Tripsacum floridanum	Gamagrass	3 Gal. 36" OC	Mix with wildflowers.
			OCATIONS TO BE DETERMINED ON SI		,	THE THE THE THE TENT
AT	Y	25	Asclepias curassavica	Milkweed	1 Gal. full	Location TBD by Land Arch.
HL.	Ÿ	30	Hymenocallis latifolia	Spider Lily	1 gal.	Location TBD by Land Arch.
SC	Y	40	Salvia coccinea	Tropical Sage	1 Gal. full. Deep red flower.	Location TBD by Land Arch.
ss .	Y	20	Solidago sempervirens	Seaside Goldenrod	1 gal.	Location TBD by Land Arch.
VG	Ÿ	30	Vernonia gigantea	Giant Ironweed	1 gal.	Location TBD by Land Arch.
VINES AN			1 BiBerned	10.2.te it offineed	1- 0	Table 100 M relieving.
SYMBOL		QTY	SPECIES	COMMON NAME	SIZE	NOTES
PS PS	MALIYE	براا	Passiflora suberosa	Corkystem Passionflower	1 Gal.	Plant amongst Bahama Coffee .

PS	Υ	25	Passiflora suberosa	Corkystem Passionflower	1 Gal.	Plant amongst Bahama Coffee .
Point R	oyale Pl	ant List	: - Pool Deck Level			November 7, 2019
TREES						
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES
BSI	Υ	49	Conocarpus erectus, sericeus	Silver Buttonwood	16'+ Ht, 2.5"+ DBH 6'+ Sp	high branched trees
JMI	N	7	Jacaranda mimosifolia	Blue Jacaranda	16'+ Ht, 4"+ DBH 6'+ Sp	
PALMS						
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES
LMO	Υ	14	Leucothrinax morrisii	Keys Thatch Palm	5'-8'+ Ht ~25 Gal.	8 palms to be 2+ trunks at 5'+, 8 to be single 5'+, 3 to be 8'+
ACCENT	SHRUBS					
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES
AE	Υ	84	Ardisia escallonioides	Marlberry	8',+ Ht, 2"+ DBH, 4'+ Sp	full and dense
HP	Υ	15	Hamelia Patens	Firebush	15 Gal, 5' Ht.	Location TBD
SR	Υ	54	Serenoa repens	Silver Saw Palmetto	30"+ Ht x 30"+	
RE	N	24	Rhapis excelsa	Lady Palm	15 Gal, 5' Ht.	
SHRUB N	MASSES					
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES
PLI	Υ	693	Psychotria ligustrifolia	Bahama Coffee	30"+ Ht x 30"+, 42"OC	
ZFL	Υ	120	Zamia floridana	Coontie	2'+ Ht x 2'+ Sp, 30" OC	
GROUND	COVERS					
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES
LIR	N	2965	Liriope muscari 'variegata'	Aztec Grass	1 Gal, 15" OC	
VINES A	ND EPIPH	YTES				
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES
PS	Υ	20	Passiflora suberosa	Corkystem Passionflower	1 Gal.	Plant amongst Bahama Coffee .

PLANTING NOTES:

- Contractor shall provide additional \$3500 (material cost) accent plant allowance, which landscape architect may use to select
- additional plants or contractor to install following initial installation. Plants selected by landscape architect must be brought to the site with original flagging from landscape architect intact. flagging to be removed upon\approval of material by landscape architect
- All plants not directly selected by the landscape architect must be approved by the landscape architect, either through direct inspection or photograph, prior to delivery to site. no exceptions.

GENERAL LANDSCAPE NOTES AND SPECIFICATIONS

- 1. The Landscape Contractor's contract shall acknowledge all terms and conditions set forth under these general landscape notes and specifications.
- 2. The Landscape Contractor shall become familiar with the scope of work as well as the site conditions and any obstacles prior to submitting a bid.
- 3. The Landscape Contractor shall verify all estimated quantities of material shown on the Landscape Architect's drawings prior to submitting a bid.
- 4. Planting plan shall take precedence over the plant list in case of discrepancies.
- 5. All plant material symbols shown on the landscape plans shall be considered diagrammatic and should be adjusted in the field by the landscape contractor to avoid all utilities and all other obstructions, after consultation with the Landscape Architect.
- All sizes specified for plant material on the plan and plant list shall be considered minimum.
- All Plant materials must meet or exceed the specified minimum requirements for both height and spread. Any specific design requirements such as specific shape, character, number of tree trunks, plant source,
- approval and coordination by the Landscape Architect. 9. All materials shall be subject to availability at time of installation. Substitutions may be made only after consultation with the Landscape Architect.
- 10. Changes may occur during the normal course of implementation. Verbal change orders will not be honored. Any changes must be submitted to the Landscape Architect in writing as official change orders and will be reviewed and approved (or rejected) in writing by owner/client.

transporting, and special bracing noted on the plan or plant list, must be followed. Changes will require

- 11. Landscape Contractor shall locate and verify all underground utilities or structures prior to digging. Landscape Contractor shall repair all damages to underground utilities caused by landscape installation at no cost to
- 12. Landscape Contractor shall coordinate with the general contractor, the removal of all building construction debris and foreign material prior to installation of any plant material.
- 13. Site preparation should include the eradication and removal of any weeds or grasses, removal and clean up of any dead material, and rough and finish grading per specifications or landscape plans.
- 14. For plant material designated to be removed, the entire root system shall be dug up and removed from the
- 15. All planting areas shall be excavated to a minimum of 2' for groundcovers and more than 3' for shrubs, trees, and palms. Planting areas should receive soil mix as directed by item 37 of General Specifications (below), or as otherwise stated in plan, specification, or detail.
- 16. All plant material shall be Florida No. 1 or better Florida Department of Agriculture Grades and standards,
- 17. All trees to be trimmed at installation following BMP practices outlined in Florida Department of Agriculture Grades and standards, Appendix A, 2015.
- 18. All trees to undergo root ball correction following BMP practices outlined in Florida Department of Agriculture Grades and standards, Appendix A, 2015.
- 19. All trees shall be staked in a good workmanlike manner. No nail staking is permitted (Refer to bracing specifications and planting details)
- 20. After removal or relocation of existing trees and palms, all remaining holes shall be back filled around and under root ball with washed beach sand Sod disturbed areas if necessary.
- 21. All existing plant materials that shall be reused and remain on site, shall be protected during all construction phases. Any plant material scarred or destroyed that has been designated for reuse must be replaced at the contractor's expense with a similar species size and quality.
- 22. All trees to be relocated shall be root pruned at a minimum 30 days prior to relocation. Contractor shall consult with a specialist to review exact requirements of each particular species.
- 23. All existing plant material designated to be stored off-site shall be protected and cared for according to industry best practices. Any plant material scarred or destroyed that has been designated for reuse must be replaced at the contractor's expense with the same species of a similar size and quality.
- 24. All required trees, shrubs, and ground covers shall receive a maleleuca mulch of 2" to 3" thickness, topped with $\frac{1}{2}$ " thickness pine straw mulch. Do not use cypress or red mulch.
- 25. All trees shall have a 2" caliper DBH minimum for every 10' HT, unless otherwise stated n plant list.
- 26. All 1 gallon plant materials shall have 12" spread minimum. All 3 gallon plant material shall have a 20"-24"
- 27. All new or relocated plants shall received automatic irrigation.
- 28. Landscape Contractor shall hand water or arrange for watering of plants after planting until plants are thoroughly established or an irrigation system is operational and accepted. Landscape contractor is responsible for replacement of failed plant material due to lack of irrigation prior to acceptance of irrigation system. Any plants failing due to defects in construction of the irrigation system during the warranty period shall also require replacement by the contractor. At minimum, and prior to irrigation system installation, all new plant material shall be watered three times per week.
- 29. Landscape Contractor shall coordinate work with the General Contractor and all other contractors to avoid damage to plants and soils.
- 30. The Landscape Contractor shall at all times keep the job site clean and free of accumulated waste, debris, and rubbish. All equipment and materials that need to remain on site for an extended period shall be organized in an orderly and professional manner.
- 31. The landscape plan shall be installed in compliance with all local codes.
- 32. On-site layout of plant materials shall be coordinated with the Landscape Architect at the time of installation.
- 33. The Landscape Architect shall be notified of plant installation with a minimum of 1.5 weeks notice.
- 34. All plants, materials, workmanship, and invoices are subject to the approval of the Landscape Architect.
- 35. The Landscape Contractor shall maintain or coordinate with the irrigation contractor and landscaping maintenance services for maintenance of planting, including watering, mowing, mulching, weeding, and pest control, until final acceptance by the Landscape Architect and the Client.
- 36. The awarded Landscape Contractor shall submit an itemized price list for all planting materials. Prices should incorporate warranty, labor, transportation, relocation, site maintenance, and site preparation, as per the Landscape Architect's drawings and specifications.
- 37. Planting soil shall be the equivalent of a "Modified 3000 Mix" as developed by Atlas Peat and Soil (561-734-7300), a mixture consisting of 50% pine bark, 35% Florida Peat, and 15% Sand.
- 38. These drawings, documents, and all of their contents are the property of Landscape DE, LLC.

SELECTION AND OBSERVATION OF PLANTS

- 1. The Owner's Representative may review all plants subject to approval of size, health, quality, character, etc. Review or approval of any plant during the process of selection, delivery, installation and establishment period shall not prevent that plant from later rejection in the event that the plant quality changes or previously existing defects become apparent that were not observed.
- 2. Plant Selection: The Owner's Representative reserves the right to select and observe all plants at the nursery prior to delivery and to reject plants that do not meet specifications as set forth in this specification. If a particular defect or substandard element can be corrected at the nursery, as determined by the Owner's Representative, the agreed upon remedy may be applied by the nursery or the Contractor provided that the correction allows the plant to meet the requirements set forth in this specification. Any work to correct plant defects shall be at the contractor's expense.
 - a. The Owner's Representative may make invasive observation of the plant's root system in the area of the root collar and the top of the root ball in general in order to determine that the plant meets the quality requirements for depth of the root collar and presence of roots above the root collar. Such observations will not harm the plant.
 - b. Corrections are to be undertaken at the nursery prior to shipping.
- 3. The Contractor shall bear all cost related to plant corrections.

- 4. All plants that are rejected shall be immediately removed from the site and acceptable replacement plants provided at no cost to the Owner.
- Submit to the Owner's Representative, for approval, plant sources including the names and locations of nurseries proposed as sources of acceptable plants, and a list of the plants they will provide. The plant list shall include the botanical and common name and the size at the time of selection. Observe all nursery materials to determine that the materials meet the requirements of this section.
- Trees shall be purchased from the growing nursery. Re-wholesale plant suppliers shall not be used as sources unless the Contractor can certify that the required trees are not directly available from a growing nursery. When Re-wholesale suppliers are utilized, the Contractor shall submit the name and location of the growing nursery from where the trees were obtained by the re-wholesale seller. The re-wholesale nursery shall be responsible for any required plant quality certifications.
- The Contractor shall require the grower or re-wholesale supplier to permit the Owner's Representative to observe the root system of all plants at the nursery or job site prior to planting including random removal of soil or substrate around the base of the plant. Observation may be as frequent and as extensive as needed to verify that the plants meet the requirements of the specifications and conform to requirements.
- Where requested by the Owner's Representative, submit photographs of plants or representative samples of plants. Photographs shall be legible and clearly depict the plant specimen. Each submitted image shall contain a height reference, such as a measuring stick. The approval of plants by the Owner's Representative via photograph does not preclude the Owner's Representative's right to reject material while on site.
- Submit all requests for substitutions of plant species, or size to the Owner's Representative, for approval, prior to purchasing the proposed substitution. Request for substitution shall be accompanied with a list of nurseries contacted in the search for the required plant and a record of other attempts to locate the required material. Requests shall also include sources of plants found that may be of a smaller or larger size, or a different shape or habit than specified, or plants of the same genus and species but different cultivar origin, or which may otherwise not meet the requirements of the specifications, but which may be available for substitution.

PLANT WARRANTY

- The Contractor agrees to replace defective work and defective plants. The Owner's Representative shall make the final determination if plants meet these specifications or that plants are defective. Plants warranty shall begin on the date of Substantial Completion Acceptance and continue for the following periods, classed by plant type:
 - -Trees 1 Year(s).
 - -Shrubs 1 Year(s).
 - -Ground cover and perennial flower plants 6 Month(s).
- -Bulbs, annual flower and seasonal color plants for the period of expected bloom or primary
- When the work is accepted in parts, the warranty periods shall extend from each of the partial Substantial Completion Acceptances to the terminal date of the last warranty period. Thus, all warranty periods for each class of plant warranty, shall terminate at one time.
- All plants shall be warrantied to meet all the requirements for plant quality at installation in this specification. Defective plants shall be defined as plants not meeting these requirements. The Owner's representative shall make the final determination that plants are defective.
- 4. Plants determined to be defective shall be removed immediately upon notification by the Owner's Representative and replaced without cost to the Owner, as soon as weather conditions permit and within the specified planting period.
- Any work required by this specification or the Owner's Representative during the progress of the work, to correct plant defects including the removal of roots or branches, or planting plants that have been bare rooted during installation to observe for or correct root defects shall not be considered as grounds to void any conditions of the warranty. In the event that the Contractor decides that such remediation work may compromise the future health of the plant, the plant or plants in question shall be rejected and replaced with plants that do not contain defects that require remediation or correction.
- 6. The Contractor is exempt from replacing plants, after Substantial Completion Acceptance and during the warranty period, that are removed by others, lost or damaged due to occupancy of project, lost or damaged by a third party, vandalism, or any natural disaster.
- Replacements shall closely match adjacent specimens of the same species. Replacements shall be subject to all requirements stated in this specification. Make all necessary repairs due to plant replacements. Such repairs shall be done at no extra cost to the Owner
- The warranty of all replacement plants shall extend for an additional one-year period from the date of their acceptance after replacement. In the event that a replacement plant is not acceptable during or at the end of the said extended warranty period, the Owner's Representative may elect one more replacement items or credit for each item. These tertiary replacement items are not protected under a warranty period.
- During and by the end of the warranty period, remove all tree wrap, ties, and guying unless agreed to by the Owner's Representative to remain in place. All trees that do not have sufficient caliper to remain upright, or those requiring additional anchorage in windy locations, shall be staked or remain staked, if required by the Owner's Representative.

END OF WARRANTY FINAL ACCEPTANCE - ACCEPTANCE OF PLANTS AT THE END OF THE WARRANTY PERIOD.

- At the end of the warranty period, the Owner's Representative shall observe all warranted work, upon written request of the Contractor. The request shall be received at least ten calendar days before the anticipated date
- End of Warranty Final Acceptance will be given only when all the requirements of the work under this specification and in specification sections Planting Soil and Irrigation have been met.



LANDSCAPEDE, LLC

LANDSCAPE ARCHITECTURE 4248 SW 62ND AVE SOUTH MIAMI, FL 33155 P:305-215-9683

INFO@LANDSCAPEDE.COM WWW.LANDSCAPEDE.COM

PROJECT NAME: POINT ROYALE

PROJECT LOCATION: 18901 SOUTH DIXIE HIGHWAY **CUTLER BAY, FLORIDA**

PROJECT CLIENT(S) / OWNER(S):

ACCAR LTD

PROFESSIONAL SEAL(S):

DOUGLAS THOMPSON, RLA

LANDSCAPE DE, LLC

No. DATE

 \times 05/13/2019 BUILDING REVIEW 01 |08/06/2019| COMMENT REVS 02 |08/22/2019| COMMENT REVS 03 |10/24/2019 ALT DESIGN 04 | 11/4/2019 | ALT DESIGN REV 05 | 11/8/2019 | ALT DESIGN REV

DESCRIPTION

SHEET ISSUE / REVISION LOG

PROJECT #:

DRAWN BY: DT

SCALE:

DATE: 11/8/2019

Sheet Title:

PLANTING SPECS

Sheet No:

POINT ROYALE APARTMENT PAVING AND DRAINAGE PLANS

DEMOLITION NOTES:

1. CONTRACTOR TO INSPECT PROJECT AREA TO ASCERTAIN THE EXTENT OF DEMOLITION AND REMOVAL WORK.

2. COORDINATE WITH APPLICABLE UTILITY COMPANIES AND OWNER'S REPRESENTATIVE FOR UTILITY LINE REMOVAL, RELOCATION, CAPPING AND UTILITY SHUTDOWNS NECESSITATED BY DEMOLITION WORK.

3. COMPLY WITH ALL PUBLIC AGENCIES RULES AND REGULATIONS HAVING JURISDICTION IN THE PROJECT REGARDING DEMOLITION, REMOVALS, RELOCATION, CAPPING, SHUTDOWNS, TRAFFIC MAINTENANCE AND BACKFILLING OF BURIED AND ABOVE GROUND UTILITIES. INCLUDING FENCES. OBTAIN ALL NECESSARY PERMITS AND PROCEDURE APPROVALS BEFORE PROCEEDING WITH THE WORK.

4. EXISTING SIDEWALKS, CURBS, PAVING, FENCES, LIGHTING POLES, OR OTHER EXISTING WORK NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY REMOVED, DAMAGED, EXPOSED OR IN ANY WAY ALTERED OR DISTURBED SHALL BE REPAIRED, PATCHED OR REPLACED AT NO ADDITIONAL COST TO OWNER.

5. ENVIRONMENTAL CONTROLS:

A. CONTROL AMOUNT OF DUST RESULTING FROM CONSTRUCTION TO PREVENT SPREAD OF DUST TO OCCUPIED PORTIONS OF BUILDINGS AND TO AVOID CREATION OF A NUISANCE IN SURROUNDING AREAS. USE OF WATER TO CONTROL DUST WILL NOT BE PERMITTED WHEN IT WILL RESULT IN, OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING. B. USE OF EXPLOSIVES WILL NOT BE PERMITTED.

C. DISPOSITION OF DEMOLISHED MATERIALS BY BURNING WILL NOT BE PERMITTED. 6. CONDUCT DEMOLITION OPERATIONS IN A MANNER THAT TRAFFIC MAY BE MAINTAINED

ALONG EXISTING STREETS, WALKS AND PARKING FACILITIES. 7. FILL HOLES AND OTHER HAZARDOUS OPENINGS CREATED BY DEMOLITION OR REMOVAL WORK.

8. REMOVE MATERIALS AND RELATED DEBRIS FROM THE SITE IN A REGULAR BASIS. ACCUMULATION OF DEBRIS ON THE SITE WILL NOT BE PERMITTED. AT TERMINATION OF WORK LEAVE AREA READY FOR CONSTRUCTION OF THE PROJECT.

1. ALL WORK SHALL COMPLY WITH THE TOWN OF CUTLER BAY DEPARTMENT OF PUBLIC WORKS, MIAMI-DADE COUNTY DEPARTMENT OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS AND STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION AND STANDARDS SPECIFICATIONS.

2. CONTRACTOR SHALL UNDERSTAND THAT THE WORK TO BE PERFORMED IS INCLUSIVE WHETHER STATED IN THE PLANS OR NOT. WORK INCLUDES BUT IN NOT LIMITED TO THE

A. DEMOLITION AND REMOVALS. B. DEWATERING (INCLUDING ALL PERMITTING).

. EROSION CONTROL BARRIERS.

. TEMPORARY FENCING. E. EARTHWORK (INCLUDING ALL NECESSARY DENSITY TESTS).

DRAINAGE G. MAINTENANCE OF TRAFFIC.

H. OTHER WORK AS DIRECTED BY OWNER'S REPRESENTATIVE OR ENGINEER OF RECORD. 3. THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION AND TURBIDITY CONTROLS PRIOR TO OR DURING CONSTRUCTION TO PREVENT VIOLATIONS OF STATE WATER QUALITY STANDARDS FOR OFF-SITE DISCHARGES. THESE BARRIERS SHALL REMAIN IN

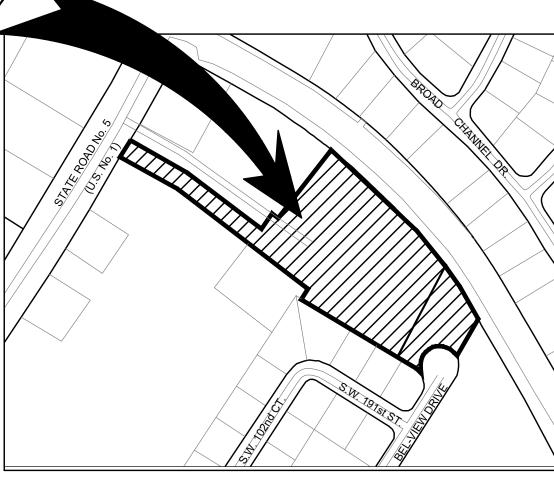
PLACE UNTIL CONSTRUCTION IS COMPLETED. 4. ALL VEGETATION AND ROOT MATERIALS SHALL BE REMOVED FROM THE CONSTRUCTION AREA. 5. REMOVE ANY PLASTIC CLAYS THAT ARE ENCOUNTERED WITHING THE CONSTRUCTION AREA. 6. REMOVE ANY MUCK OR PEATS THAT ARE ENCOUNTERED WITHIN THE CONSTRUCTION AREA. 7 FILL SOLLS WHICH ARE PLACED TO RAISE SITE CRADES SHALL CONSIST OF INORGANI SAND WITH LESS THAN 10% PASSING THE NUMBER 200 SIEVE OR CRUSHED LIMESTONE.

DENSITY. FIELD DENSITY TEST SHALL BE TAKEN ON EACH LIFT OF FILL, ON TEST PER 2,500 SQUARE FEET. FILL SOILS SHALL BE PLACED ON A PROOF ROLLED SUBGRADE. THIS WORK SHALL BE AS DIRECTED BY THE PROJECT GEOTECHNICAL / SOILS ENGINEER. 8. SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND UTILITIES SHALL BE INSTALLED, TESTED, INSPECTED AND APPROVED PRIOR TO ROAD

FILL SOILS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DRY

SECTION 5 T56S-R40E

SUBJECT PROPERTY



LOCATION MAP

LEGAL DESCRIPTION:

TRACT "A" OF "FABULOUS DIAMONDS SUBDIVISIONS", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 131, AT PAGE 50, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY FLORIDA, FORMERLY KNOWN AS:

TRACT "B" OF POINT ROYALE SHOPPING CENTER, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 99, AT PAGE 64, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LESS

COMMENCE AT THE INTERSECTION OF SOUTHWESTERLY CORNER OF SAID TRACT"B" AND THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF THE STATE ROAD (US No. 1); THENCE RUN

SOUTH 59°00'20" EAST FOR A DISTANCE OF 145.67 FEET; THENCE RUN SOUTH 52° 55'00" EAST FOR A DISTANCE 227.69 FEET TO THE POINT OF BIGINNING; THENCE CONTINUE SOUTH 52° 55'00" EAST FORA DISTANCE OF 183.37 FEET, BEING AN INTERSECTION WITH CIRCULAR CURVE CONCAVE TO THE NORTHWESTERLY FROM SAID INTERSECTION THENCE RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 8.227.49 FEET THROUGH A CENTRAL ANGLE OF 00° 58'01" FOR A DISTANCE OF 139.68 FEET; THENCE NORTH 52°55'00" WEST FOR A DISTANCE OF 149.60 FEET, THENCE NORTH 37°05'00" EAST FOR A DISTANCE OF 139.23 FEET TO THE PINT OF BEGINNING.

AND

TRACT "A" OF, "BELL AIR CENTER"' ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 90, AT PAGE 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

DRAWINGS INDEX

SHEET No. **DESCRIPTION**

> PD-CS PAVING AND DRAINAGE COVER SHEET PD-1 DEMOLITION PLAN

GEOMETRY PLAN

GRADING AND DRAINAGE PLAN

EROSION AND SEDIMENTATION CONTROL PLAN

PD-5 DETAILS

PD-6 DETAILS

TS-1 VEHICLE TURN SIMULATION

TS-2 VEHICLE TURN SIMULATION \sim

GENERAL NOTES:

- 1.— SITE INFORMATION OBTAINED FROM SURVEY BY MARCISCO RAMIREZ DATED DECEMBER 28, 2018. ALL ELEVATIONS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.
- 2.- THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND FAMILIARIZING HIMSELF WITH THE EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- 3.— THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE, SIZE, AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- 4.— THE CONTRACTOR SHALL RESTORE ALL EXISTING PAVEMENT, UTILITIES, (ABOVE AND BELOW GROUND), AND SURFACE FEATURES DISTURBED DURING CONSTRUCTION TO A CONDITION EQUAL TO, OR BETTER THAN THE EXISTING IN ACCORDANCE WITH THE CITY OF MIAMI PUBLIC WORKS DEPARTMENT STANDARDS AND SPECIFICATIONS.
- 5.- ALL WORK, MATERIALS AND RESTORATION SHALL CONFORM TO THE TOWN OF CUTLER BAY DEPARTMENT OF PUBLIC WORKS, MIAMI-DADE COUNTY DEPARTMENT OF PUBLIC WORKS AND STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
- 6.— IT IS THE INTENT OF THESE PLANS TO COMPLY WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- 7.— IT IS THE OWNER'S AND/OR CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY CONSTRUCTION AND MAINTENANCE EASEMENTS THAT MAY BE REQUIRED FOR THIS 8.— FIELD LAY-OUT OF THE WORK SHALL BE AS PER THE SITE PLAN AND SHALL BE
- PERFORMED BY A REGISTERED LAND SURVEYOR. 9.— EXFILTRATION TRENCH TO BE CONSTRUCTED WITH 18" PERFORATED HDPE PIPE WITHIN
- 10.— THE ENGINEER IS NOT RESPONSIBLE FOR COORDINATING THE WORK OF OTHER UTILITIES, SUB-CONSULTANTS OR TRADES. IT IS THE OWNER'S RESPONSIBILITY TO PROVIDE COORDINATION FOR, BUT NOT LIMITED TO, THE LOCATION OF WATER, SEWER, AND DRAINAGE UTILITIES, AS WELL AS THE SERVICES, WITH THE LOCATION OF DRIVEWAYS, RAMPS, LANDSCAPING, OTHER INFRASTRUCTURE IMPROVEMENTS AND OTHER SURFACE FEATURES.
- 11.— CONTRACTORS TO SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING
- STRUCTURES AND OTHER MATERIALS. 12.— DADE COUNTY FLOOD CRITERIA ELEVATION: 5.80 N.G.V.D.
- 13. OCTOBER WATER LEVEL ELEVATION: 3.30 N.G.V.D.
- 14.— FEMA ELEVATION: **ZONE** X N.G.V.D.
- 15.— MIN. F.F. ELEVATION: SEE PLANS.
- 16.— CONTRACTOR TO BUILD-UP ASPHALT AROUND MANHOLES, VALVES, INLETS, AND ALL OTHER APPURTENANCES. AFTER FIRST LIFT PER FDOT STD INDEX 600

UNDERGROUND CONTRACTORS:

- A. UNDERGROUND CONTRACTOR SHALL COMPLY WITH THE TRENCH SAFETY ACT, HB 3183, FLORIDA STATUTES, WHICH INCORPORATES, BUT IS NOT LIMITED TO, THE FOLLOWING:
- 1. OSHA STANDARD 29 C.F.R. PART 1926, SUBPART P, EXCAVATION AND TRENCHES.
- 2. CONTRACT BIDS FOR TRENCH EXCAVATIONS (IN EXCESS OF 5 FEET DEEP) SHALL INCLUDE REFERENCE TO THE SAFETY STANDARDS. WRITTEN ASSURANCE OF COMPLIANCE, AND A SEPARATE ITEM IDENTIFYING THE COST OF COMPLIANCE.
- 3. ADHERE TO ANY SPECIAL SHORING REQUIREMENTS OF THE STATE OR OTHER POLITICAL SUBDIVISION.
- B. ENGINEER IS NOT RESPONSIBLE FOR THE SAFETY OF THE EXCAVATION OR DESIGN AND CONSTRUCTION OF ANY SHORING.



THIS PLAN WAS PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLIES WITH THE INTENT OF THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS", AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328.FS.

POINT ROYALE APARTMENTS SITE	0.00Ac.
BUILDING AREA (ROOF)	0.00Ac.
IMPERVIOUS AREA (PAVED AREAS, STAIRS, DRIVEWAYS)	0.00Ac.
PERVIOUS AREAS (GREEN OR LANDSCAPED AREAS)	0.00Ac. 0.00Ac.

CONTACT PERSON INFORMATION

NAME: ROBERTO A. LAGE, P.E

TELEPHONE NUMBER: 305-477-6472

E-MAIL ADDRESS: ROBERTOL@FORDCO.COM

Sunshine

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

FORD ENGINEERS, INC 950 N.W. 94th AVENUE, 2nd FLOOF MIAMI, FLORIDA 33172 PH. (305) 477-6472 FAX (305) 477-8054

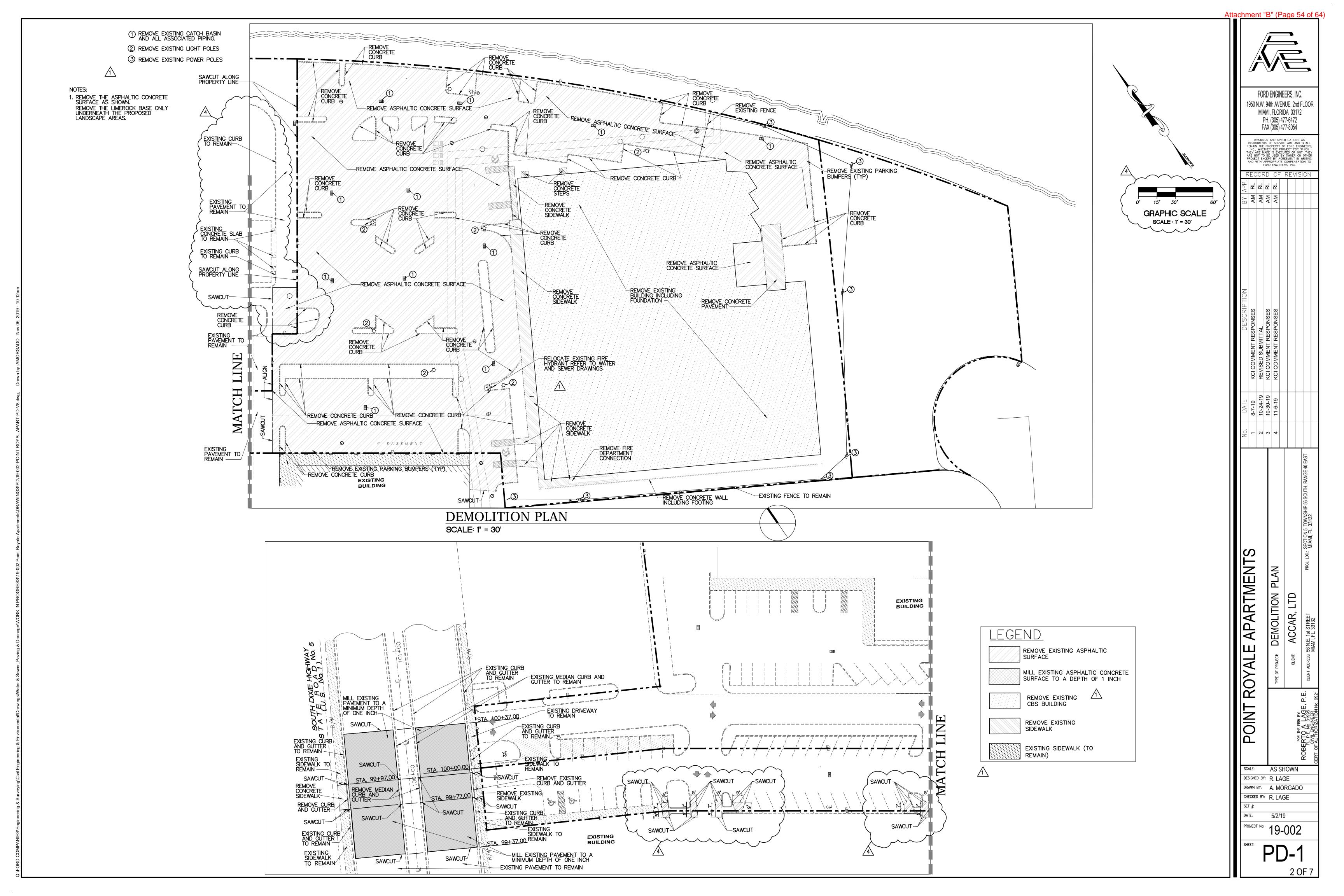
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF FORD ENGINEERS INC., WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY OWNER ON OTHER PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO FORD ENGINEERS, INC.

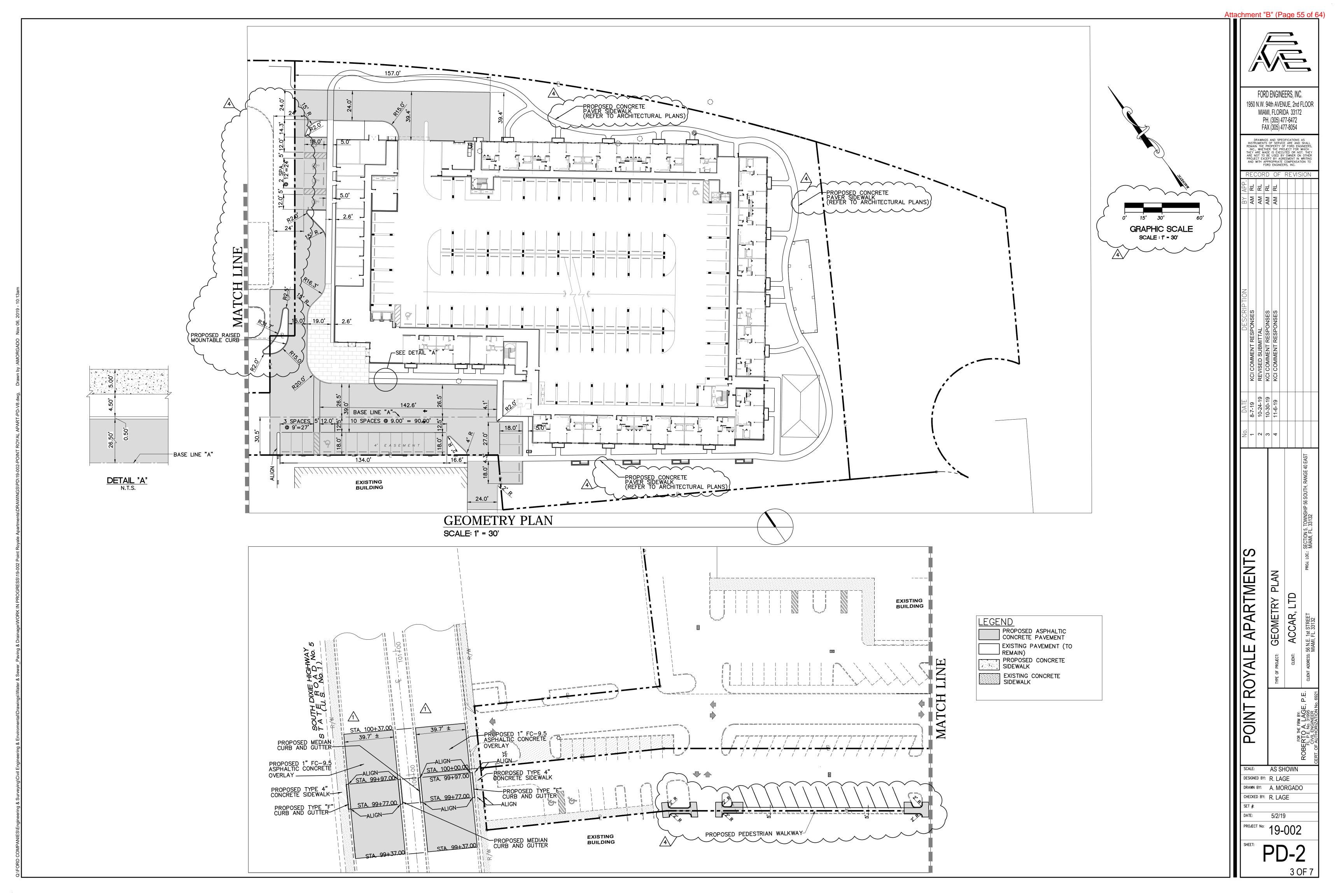
		`		 		• •	 	
	BY APP.	RL	AM RL					
	ВУ	AM	AM					
	DESCRIPTION	KCI COMMENT RESPONSES	KCI COMMENT RESPONSES					
	DATE	8-7-19	11-6-19					
	No.	1	2					
				⊢	_		H, RANGE 40 EAST	

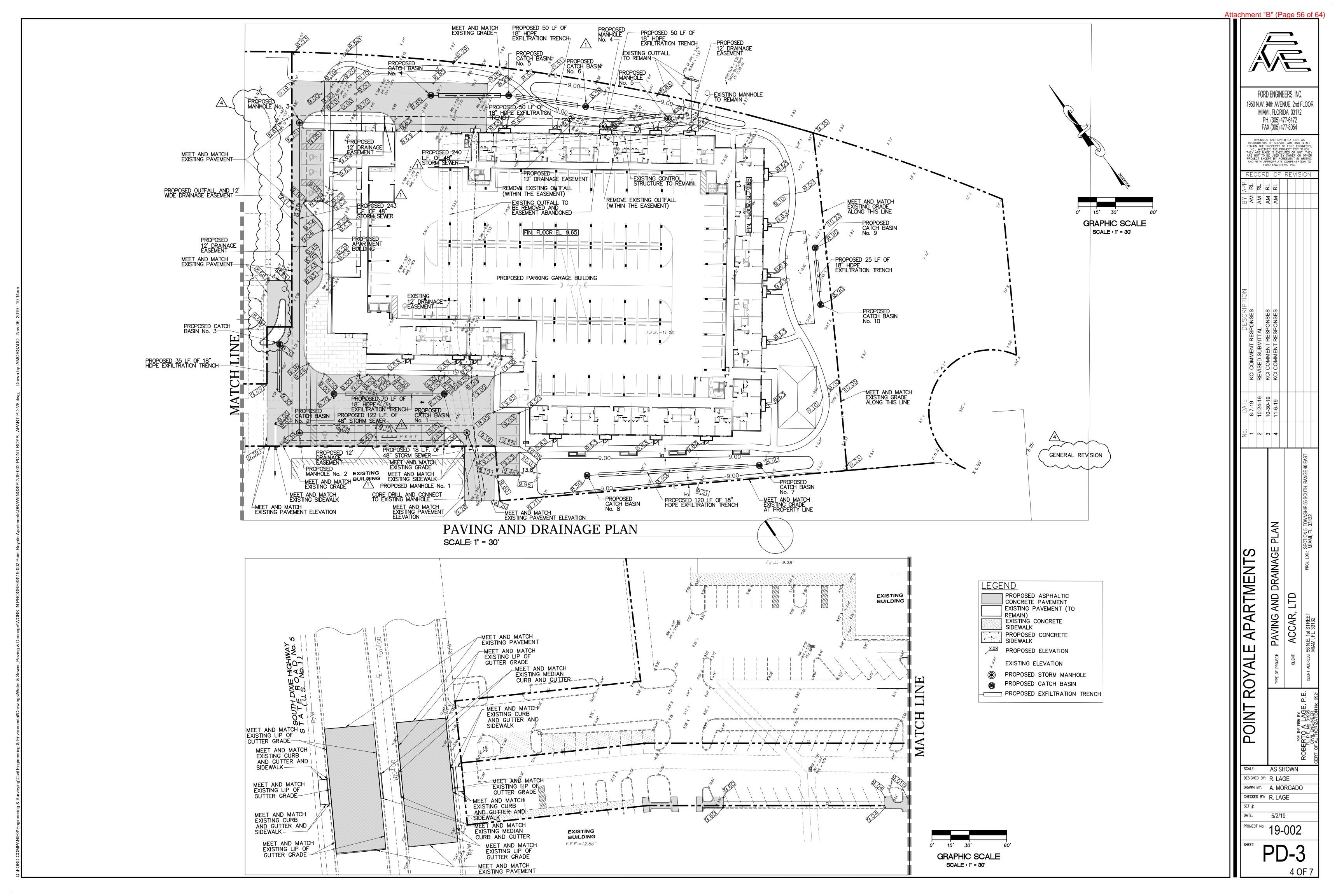
ĒR 0 C TME AND, LTD AR. AVING AP

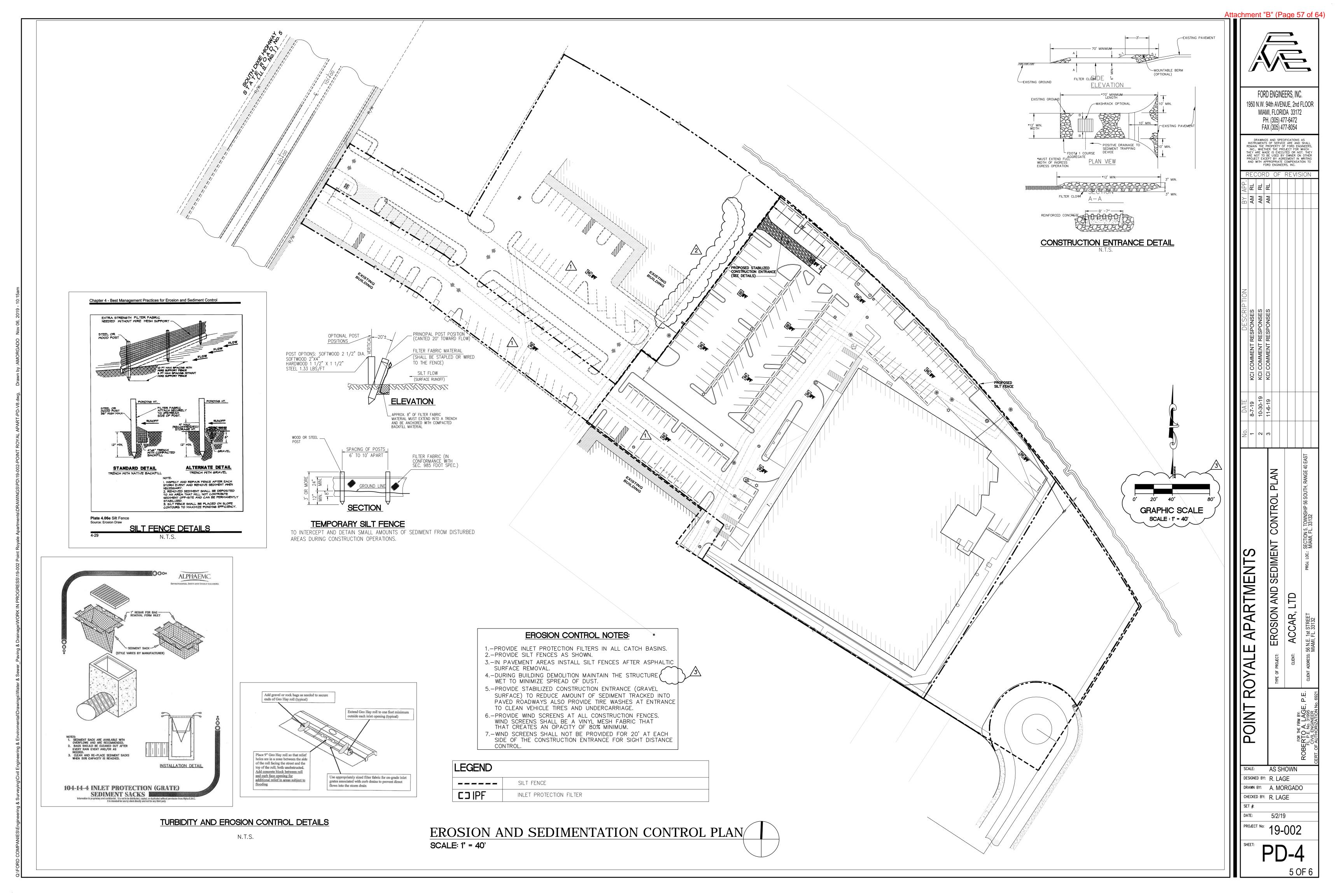
AS SHOWN DESIGNED BY: R. LAGE DRAWN BY: A. MORGADO CHECKED BY: R. LAGE

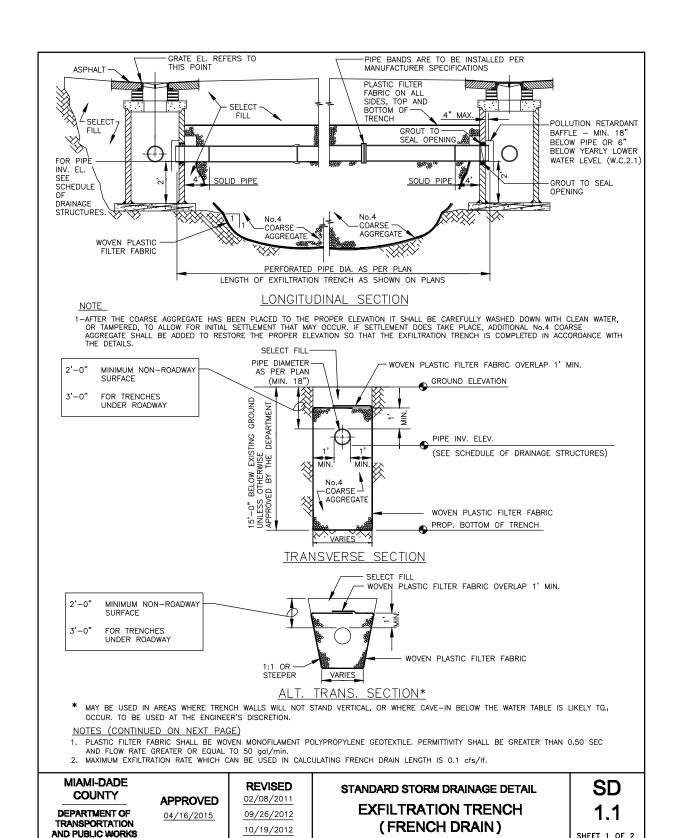
5/2/19

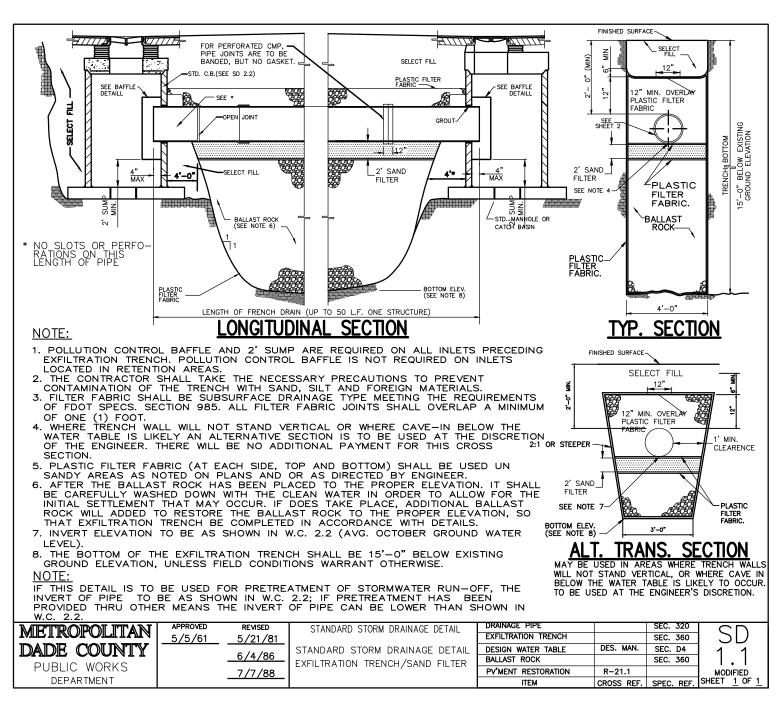


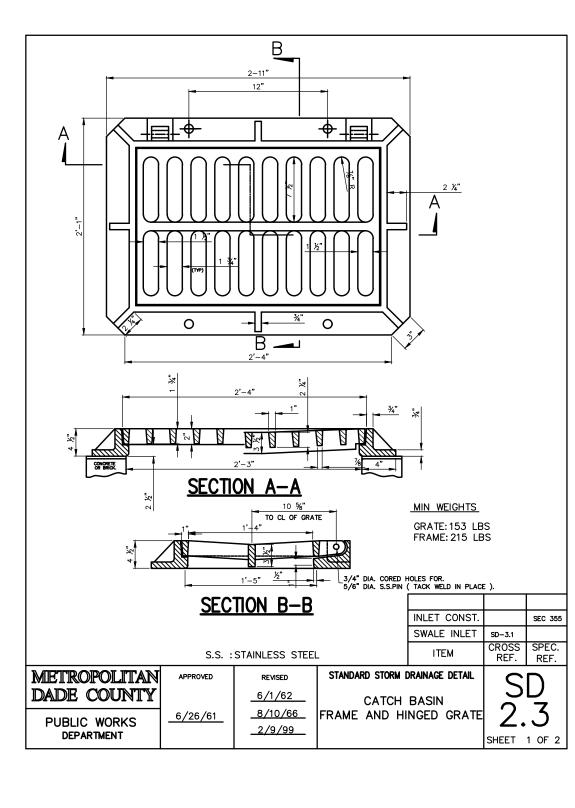


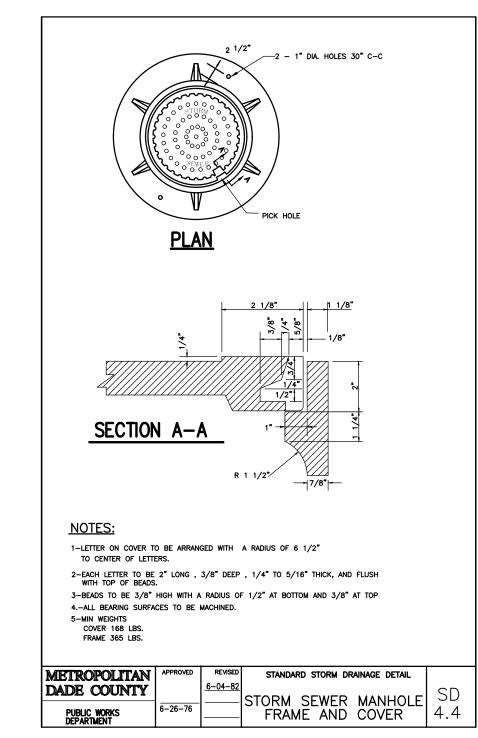


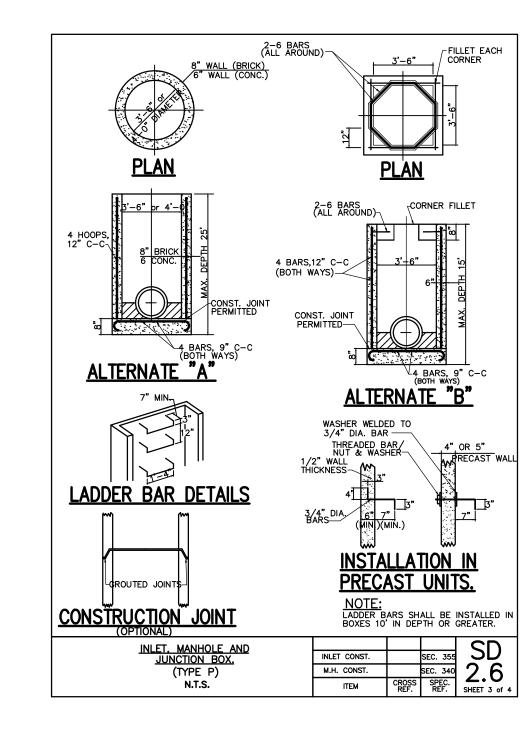


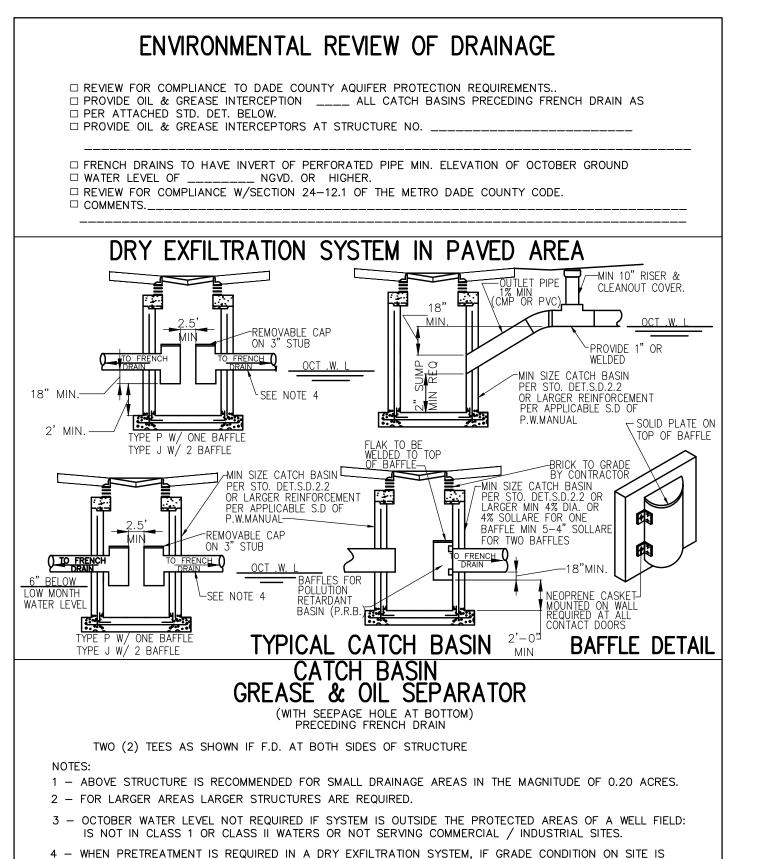










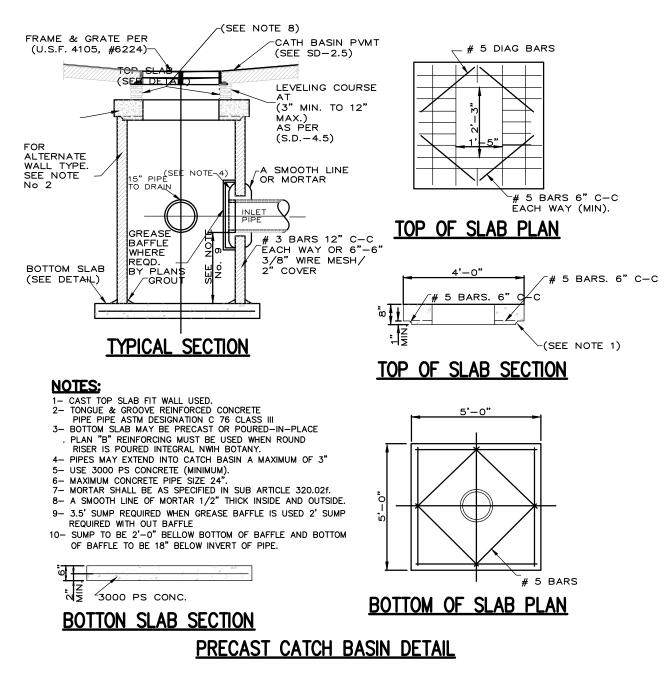


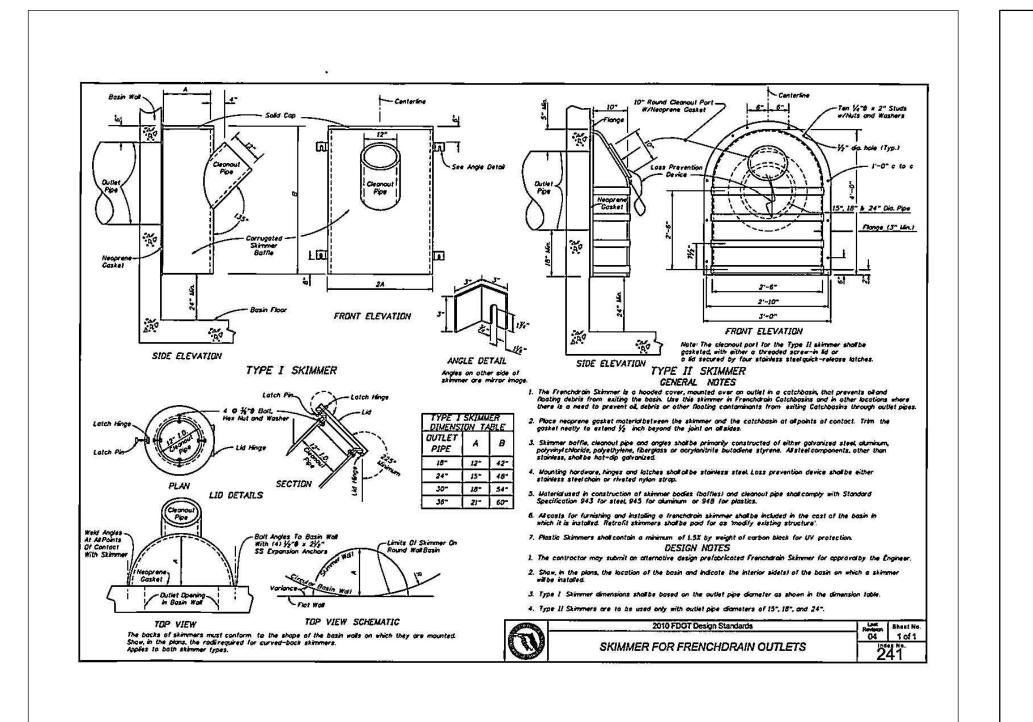
SUCH THAT THE INVERT OF THE NON PERFORATED PIPE LEAVING THE CATCH BASIN IS BELOW THE OCTOBER

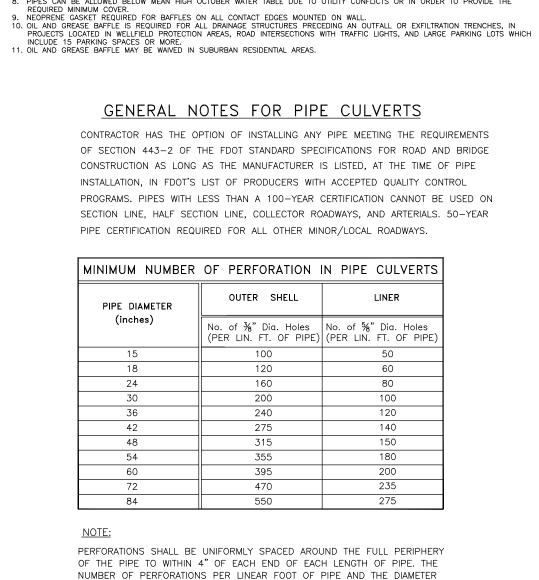
GROUND WATER LEVEL; A TRANSITION IS REQUIRED FROM THIS INVERT ELEVATION OF THE PERFORATED PIPE.

5 - ALL OTHER ALTERNATIVES TO THE ABOVE OIL & GREASE INTERCEPTORS MUST BE REVIEWED AND

APPROVED BY D.E.R.M. PRIOR TO ISSUANCE OF A CONSTRUCTION PERMIT.







OF THE PERFORATIONS SHALL BE AS SHOWN ON THE ABOVE TABLE.

STANDARD STORM DRAINAGE DETAIL

EXFILTRATION TRENCH

(PIPE CULVERT NOTES)

REVISED

06-04-86

10-22-13

05-02-81

APPROVED

04/16/2015

SD

SHEET 2 OF 2

3. THE MINIMUM PIPE DIAMETER FOR DRAINAGE SYSTEM WITHIN THE ROADWAY RIGHT-OF-WAY SHALL BE 18 INCHES. 15 INCH PIPE MAY

BE USED IN PRIVATE ROADWAYS.

4. NO TREES TO BE PLANTED WITHIN 5 FEET OF THE EDGE OF THE TRENCH.

5. TYPE "P" S.D. 2.6 STRUCTURE IS RECOMMENDED FOR AREAS LARGER THAN 0.2 ACRE.

7. ALL INVERTS OF PERFORATED PIPES TO BE AT MEAN HIGH OCTOBER WATER TABLE W.C. 2.2.

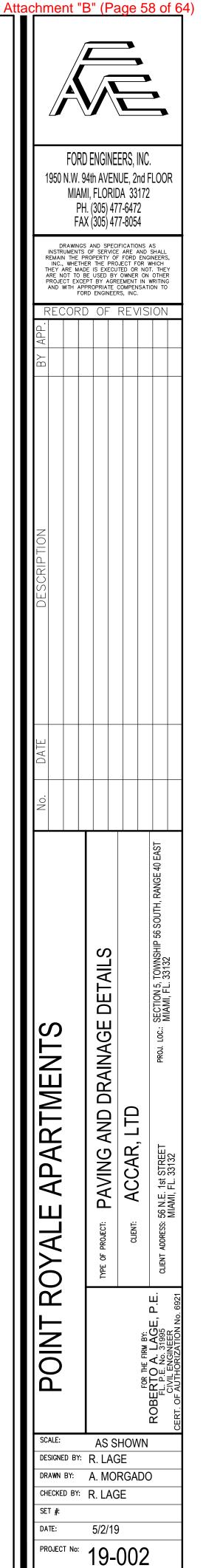
8. PIPES CAN BE ALLOWED BELOW MEAN HIGH OCTOBER WATER TABLE DUE TO UTILITY CONFLICTS OR IN ORDER TO PROVIDE THE REPULIEED MINIMINI COVER.

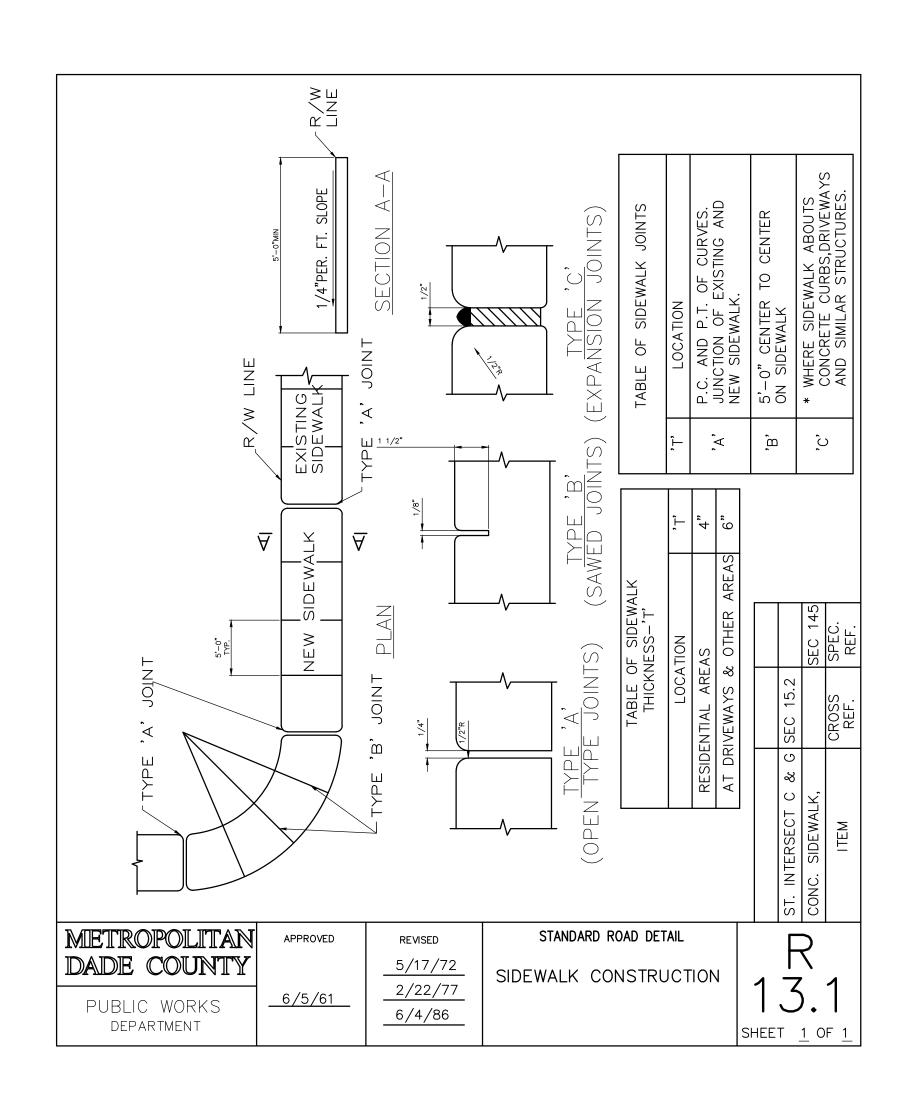
NOTES CONTINUED

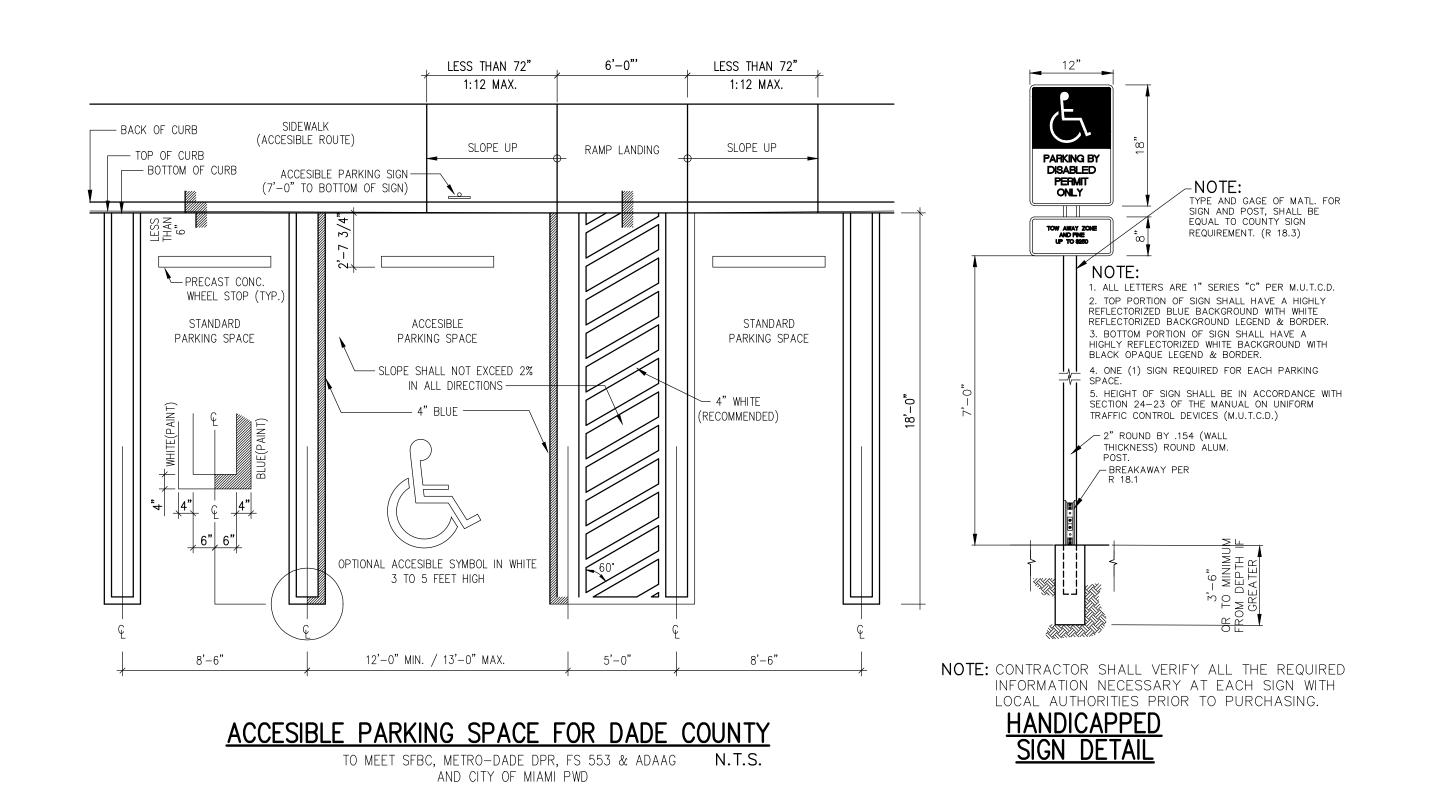
MIAMI-DADE

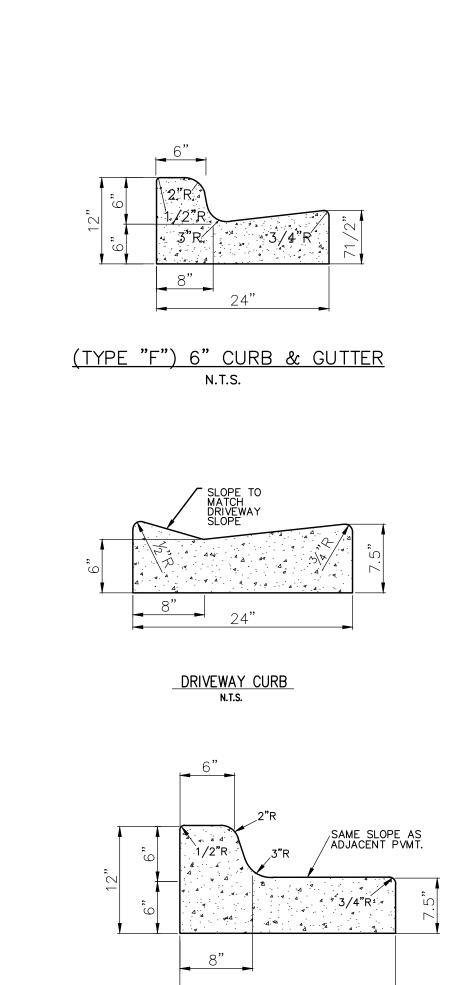
COUNTY

DEPARTMENT OF

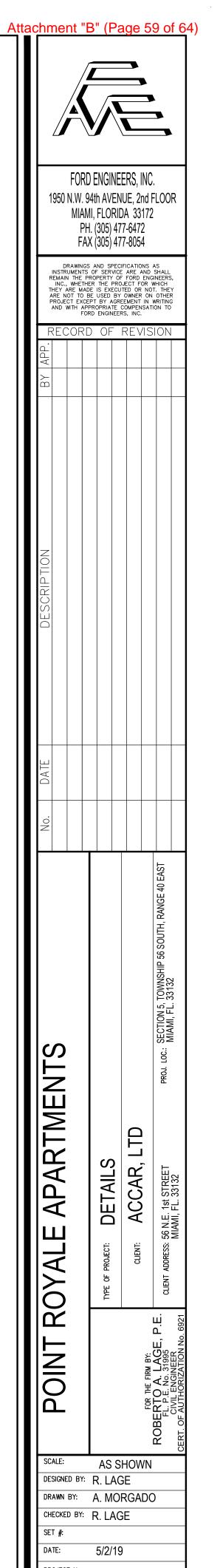


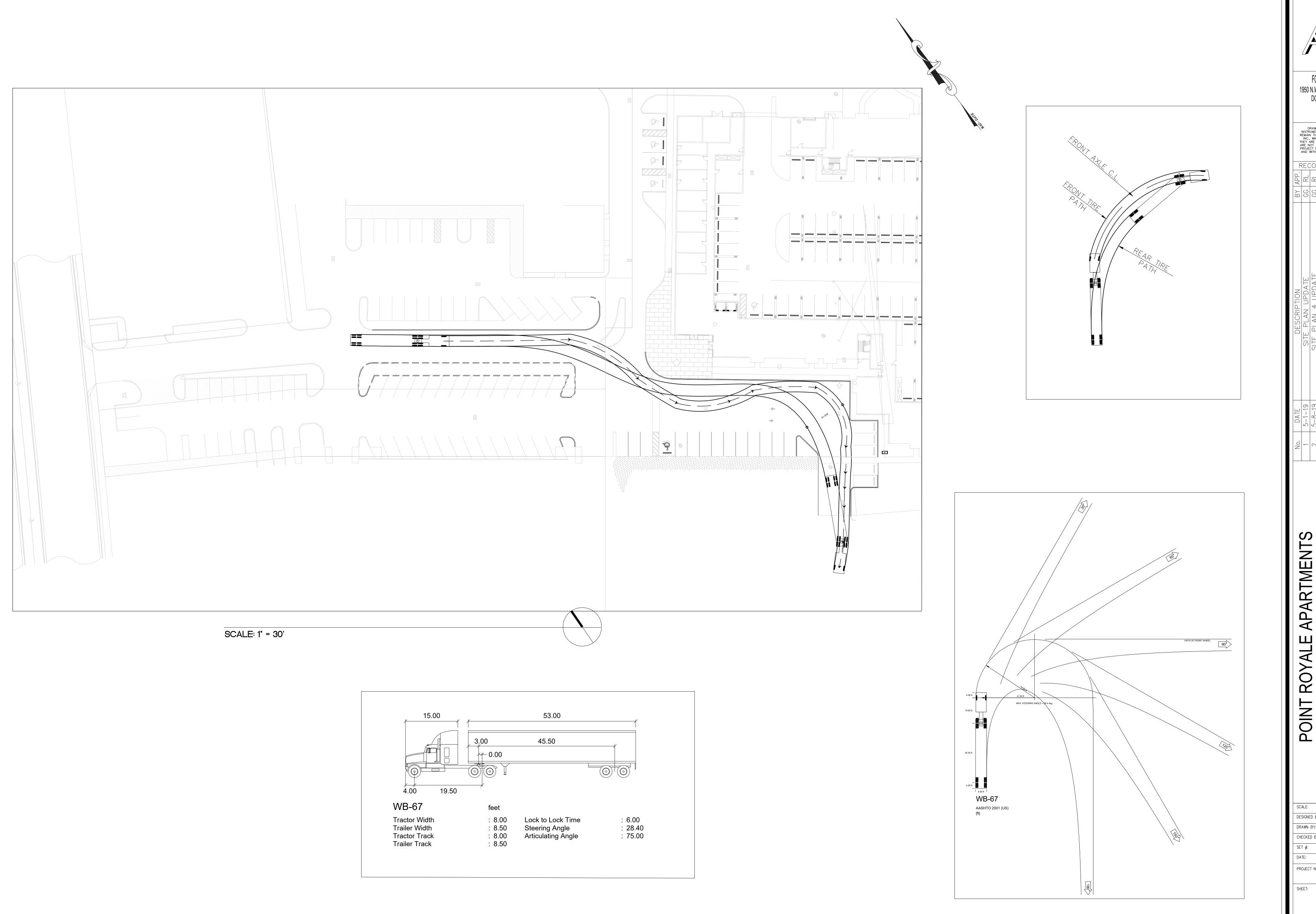






TYPE "F" FOR MEDIAN CURB AND GUTTER.





FORD ENGINEERS, INC. 1950 N.W. 94th AVENUE, 2nd FLOOR DORAL, FLORIDA 33172 PH. (305) 477-6472 FAX (305) 470-2805

TURN SIMULATION

FOR THE FIRM BY:

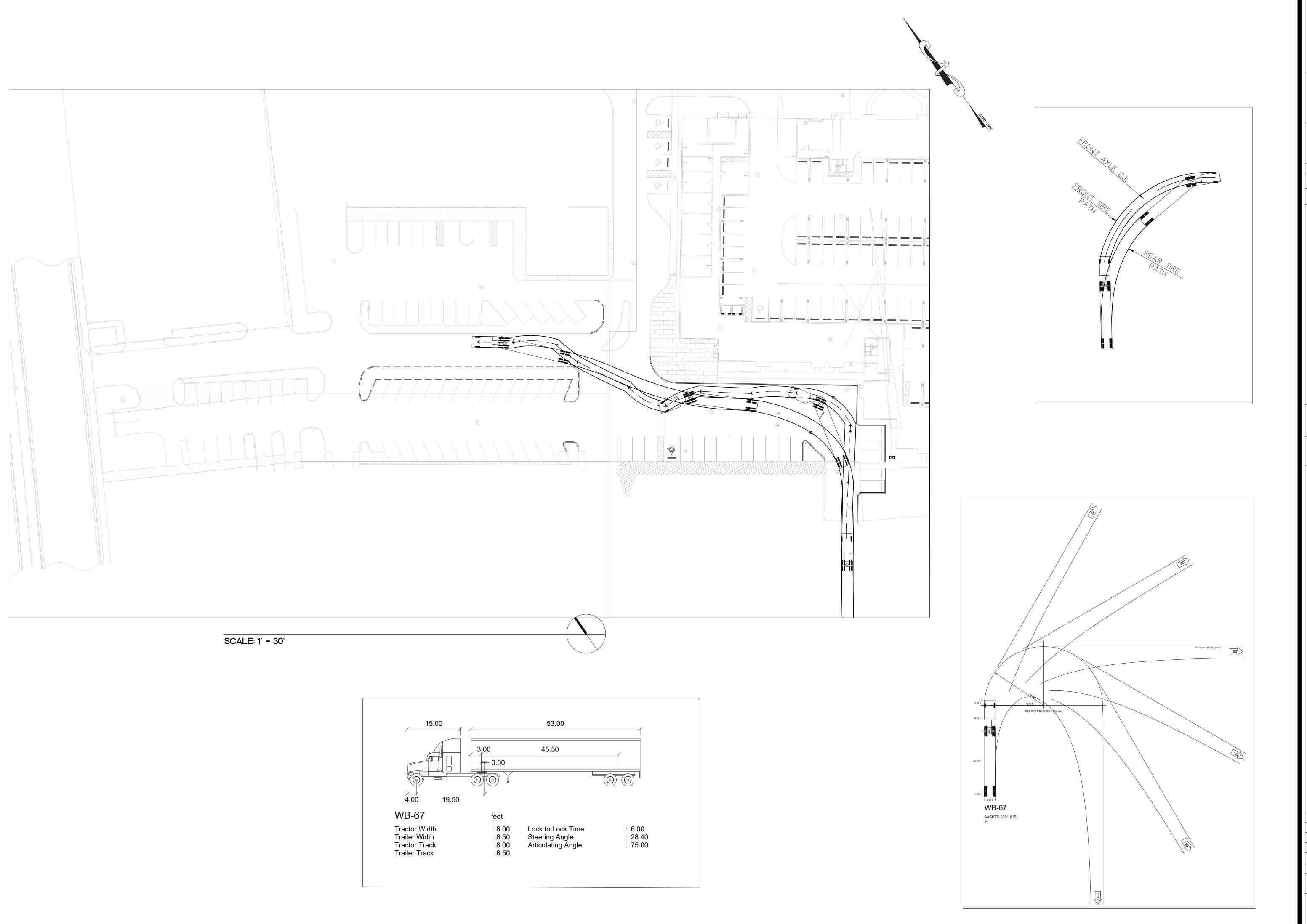
BERTO A. LAGE, P.E.
FL. P.E. No. 31995
CIVIL ENGINEER
OF AUTHORIZATION No. 6921 AS SHOWN

DESIGNED BY: R. LAGE DRAWN BY: A. MORGADO CHECKED BY: R. LAGE

3/27/19

PROJECT No: 19-002 **TS-1**

1 OF 2



FORD ENGINEERS, INC. 1950 N.W. 94th AVENUE, 2nd FLOOR DORAL, FLORIDA 33172 PH. (305) 477-6472 FAX (305) 470-2805

POINT ROYALE APARTMENTS TURN SIMULATION

FOR THE FIRM BY:

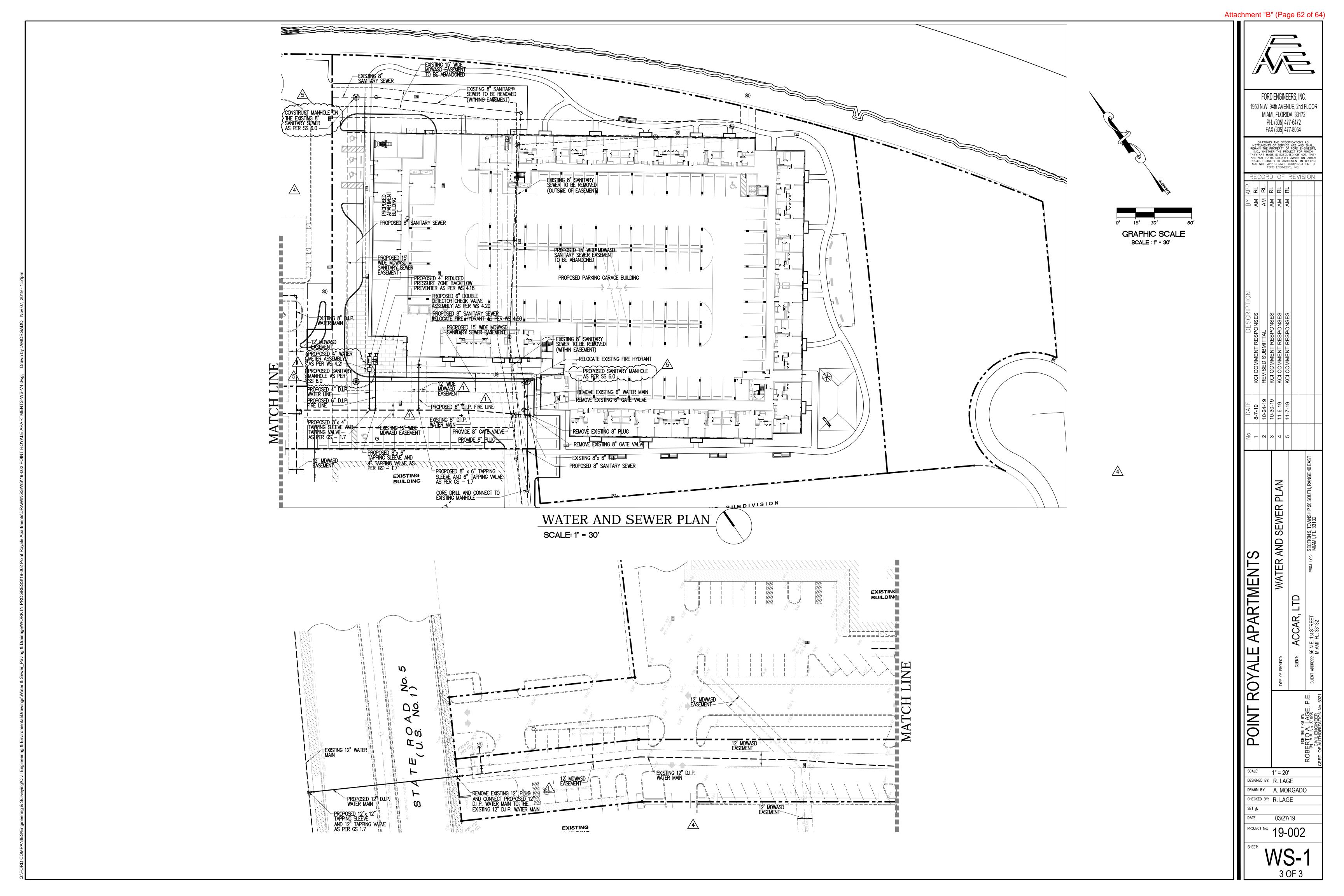
BERTO A. LAGE, P.E.
FL. P.E. No. 31995
CIVIL ENGINEER
OF AUTHORIZATION No. 6921

AS SHOWN DESIGNED BY: R. LAGE DRAWN BY: A. MORGADO CHECKED BY: R. LAGE

3/27/19

PROJECT No: 19-002

2 OF 2

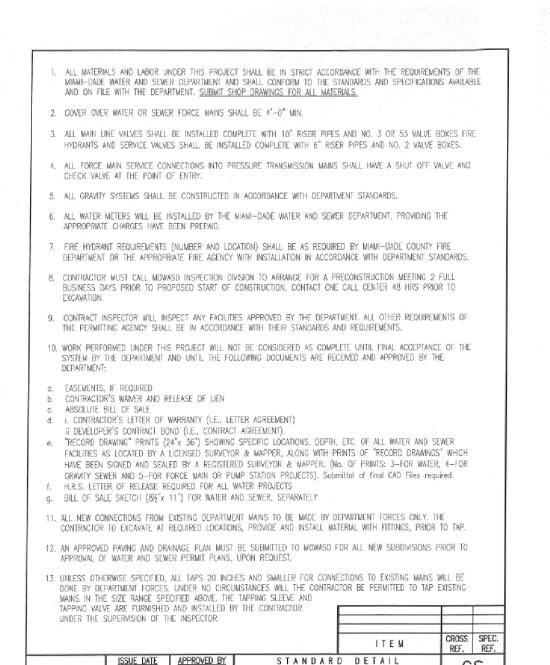


POINT ROYALE APARTMENTS

S.W. 191st STREET AND US-1

WAUER AND SEWER PLANS

SECTION 5 T56S-R40E



SUBJECT PROPERTY (APARTMENTS AND RETAIL)

LOCATION MAP SCALE 1"=300'

FOLIO #: 36-6005-070-0010 36-6005-014-0010

LEGAL DESCRIPTION:

TRACT "A" OF "FABULOUS DIAMONDS SUBDIVISIONS", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 131, AT PAGE 50, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY FLORIDA, FORMERLY KNOWN AS:

TRACT "B" OF POINT ROYALE SHOPPING CENTER, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 99. AT PAGE 64. OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY.

LESS

COMMENCE AT THE INTERSECTION OF SOUTHWESTERLY CORNER OF SAID TRACT"B" AND THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF THE STATE ROAD (US No. 1); THENCE RUN SOUTH 59°00'20" EAST FOR A DISTANCE OF 145.67 FEET; THENCE RUN SOUTH 52° 55'00" EAST FOR A DISTANCE 227.69 FEET TO THE POINT OF BIGINNING: THENCE CONTINUE SOUTH 52° 55'00" EAST FORA DISTANCE OF 183.37 FEET. BEING AN INTERSECTION WITH CIRCULAR CURVE CONCAVE TO THE NORTHWESTERLY FROM SAID INTERSECTION THENCE RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 8.227.49 FEET THROUGH A CENTRAL ANGLE OF 00° 58'01" FOR A DISTANCE OF 139.68 FEET; THENCE NORTH 52°55'00" WEST FOR A DISTANCE OF 149.60 FEET, THENCE NORTH 37°05'00" EAST FOR A DISTANCE OF 139.23 FEET TO THE PINT OF BEGINNING.

TRACT "A" OF, "BELL AIR CENTER" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 90, AT PAGE 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

NOT PART OF M-DWASD NOTES NOR APPROVAL: ALL EXISTING FIRE HYDRANTS SHALL BE RECONNECTED TO THE PROPOSED WM. CONSTRUCTION MANAGEMENT DIVISION WILL COORDINATE IN THE FIELD WITH WATER DISTRIBUTION DIVISION TO DETERMINE IF AN EXISTING FIRE HYDRANT SHALL BE REPLACED AS NEEDED OR REQUIRED.

DRAWINGS INDEX

SHEET No. SHEET DESCRIPTION WS-CS WATER AND SEWER COVER SHEET WS-GN WATER AND SEWER GENERAL NOTES

SALTWATER INTRUSION AREA. ALL PROPOSED D.I.P. PIPES AND FITTINGS TO BE ZINC COATED AND HAVE POLYETHYLENE ENCASEMENT PER M-DWASD DETAIL A9.0.

2.5 DEG. MAX DEFLECTION (TYP.)

0.5

SHEET 1 OF 2

WATER AND SEWER

CONSTRUCTION

WASD NOTES:

1. ALL EXISTING MAINS BEING IMPACTED BY THIS PROJECT AND ALL PROPOSED WATER AND FORCE MAINS AND FITTINGS TO BE RESTRAINED AS PER GS 2.0

2. ALL EXISTING WATER AND/OR SEWER UTILITIES BEING REMOVED AND/OR RELOCATED OR ABANDONED IN PLACE MUST REMAIN ACTIVE AND IN SERVICE UNTIL SUCH TIME WHEN REPLACING WATER AND/OR SEWER UTILITIES HAVE BEEN INSTALLED, PLACED IN SERVICE, ACCEPTED BY THE DEPARTMENT AND ALL SERVICES FROM THE EXISTING MAINS HAVE BEEN TRANSFERRED TO THE NEW ONES BY M-DWASD FORCES AT OWNERS EXPENSE AS WHERE APPLICABLE.

3. ALL WASD OWNED AND MAINTAINED WATER AND/OR SEWER FACILITIES LOCATED ON PRIVATE PROPERTY SHALL BE REMOVED AFTER ALL INSTALLED SERVICES HAVE BEEN TRANSFERRED TO THE ALREADY INSTALLED AND IN SERVICE WATER AND/OR SEWER MAINS. ANY ASSOCIATED WASD EXCLUSIVE EASEMENTS SHALL BE CLOSED AND RELEASED AFTER THE REMOVAL AND/OR ABANDON IN PLACE OF THE EXISTING WASD OWNED WATER AND/OR SEWER FACILITIES.

4. FOR NEW SEWER LATERAL CONNECTIONS TO EXISTING VCP GRAVITY SEWER MAINS THE CONTRACTOR SHALL TELEVISE THE SEWER MAIN BEFORE AND AFTER INSTALLATION OF THE NEW SEWER LATERAL

5. ALL SANITARY LATERAL INSTALLATIONS TO COMPLY WITH GS1.5 AND SS1.0 AS APPLICABLE.

6. ALL WATER SERVICE INSTALLATIONS ARE TO COMPLY WITH GS1.5 AND APPLICABLE WS DETAIL RELATED TO SERVICE.

FOR ALL PROJECT WHERE REMOVAL OF UTILITY LINES IS PROPOSED

. FOR ALL EXISTING WATER SERVICE LINES 4—INCHES OR LARGER CONTRACTOR SHALL PROVIDE A TEE, VALVE AND LINEAR FOOTAGE OF PIPE AS REQUIRED.

2. ALL WATER AND/OR SEWER FACILITIES LOCATED IN PRIVATE PROPERTY SHALL BE REMOVED AFTER ALL INSTALLED SERVICES FROM THEM HAVE BEEN TRANSFERRED TO THE ALREADY INSTALLED AND IN SERVICE NEW MAINS. ANY ASSOCIATED EXCLUSIVE EASEMENTS SHALL BE CLOSED AND RELEASED AFTER THE REMOVAL OF THE EXISTING WATER AND/OR SEWER

CONTACT PERSON INFORMATION

NAME: ROBERTO A. LAGE, P.E.

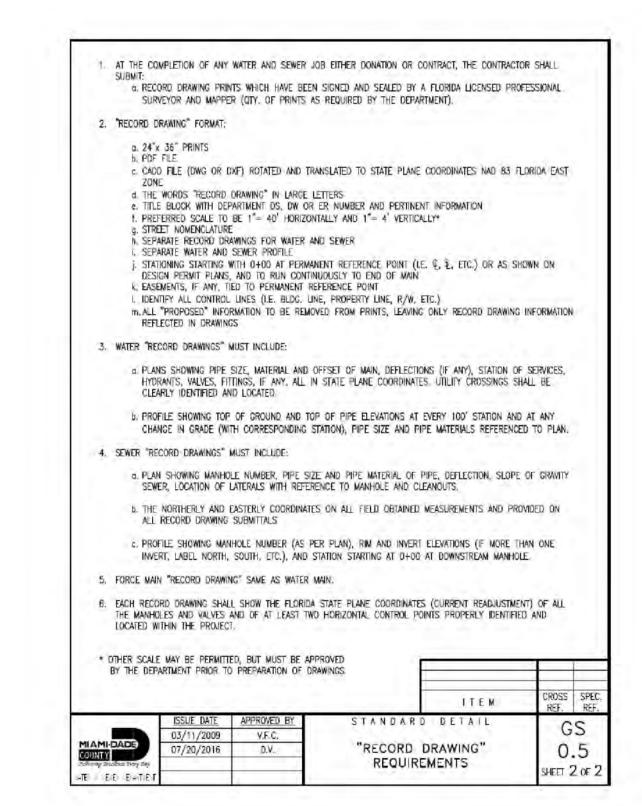
TELEPHONE NUMBER: 305-477-6472

E-MAIL ADDRESS: ROBERTOL@FORDCO.COM

Sunshine

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!



	WATER AND SEWER	GENER.	AL LEGEND
—	PROP. 6" PVC OR D.I.P. SAN LAT. PER SS-1 AND SS-3.1 (TYP.)	► T' ►	PROP. WATER PIPE, TEE, GV, PLUG AND NODE ANNOTATION.
—⊸≪	PROP. 1" WATER SERVICE W/DUAL METER BOX PER WS-2.12 (TYP.)		PAVEMENT RESTORATION
	PROP. 1" WATER SERVICE W/SINGLE METER BOX PER WS-2.10 (TYP.)		EXIST. ASPHALT PAVEMENT.
>++	PROP. F.H. PER WS 4.5		PROP. VERTICAL OFFSET BEND.
7	PROP. 90° BEND.		PROP. TAPPING SLEEVE W/ TAPPING VALVE AS PER G.S 1.7 (TYP.)
<u></u> (1)	SEWER AND MH NUMBERING.	■ FTR	PROP. INLET W/ FRENCH DRAIN & STORM SEWER MH.
	PROPOSED 6" DOUBLE DETECTOR CHECK VALVE ASSEMBLY AS PER WS 4.20		PROPOSED 2" PRESSURE VACUUM BREAKER AS PER WS 4.19
<>>>	PROPOSED 6" WALL MOUNTED FIRE DEPARTMENT CONNECTION		PROPOSED DUAL 2" METER ASSEMBLY FOR DOMESTIC AND IRRIGATION SERVICES AS PER WS 4.21
	EXISTING LINE	- → → -	EXISTING GATE VALVE
(D)	EXISTING SANITARY MANHOLE	¢	UTILITY BOX
¤	POWER POLE	\longrightarrow	GUY ANCHOR
	TREE		PALM
——ОНW——	OVERHEAD WIRE	٩	SIGN

FORD ENGINEERS, INC 950 N.W. 94th AVENUE, 2nd FLOOF MIAMI, FLORIDA 33172 PH. (305) 477-6472 FAX (305) 477-8054

TMEN

AP,

AS SHOWN

03/27/19

DESIGNED BY: R. LAGE

CHECKED BY: R. LAGE

DRAWN BY: A. MORGADO

- 2. ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.
- UNDERGROUND UTILITY INFORMATION IS TAKEN FROM THE BEST AVAILABLE SOURCES, BUT MUST BE VERIFIED BY CONTRACTOR IN THE FIELD WITH THE APPROPRIATE UTILITY AGENCIES PRIOR TO COMMENCENT OF ANY WORK.
- EXISTING UTILITY LINES OTHER THAN THOSE INDICATED IN THIS DRAWING MAY BE ON SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK. HE IS TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.
- PRIOR TO CONSTRUCTION OF WATER SERVICE LINE, IRRIGATION SERVICE, FIRE SERVICE LINE, & NEW SEWER LATERALS (IF APPLICABLE). THE EXACT DESIRED LOCATION OF EACH SHALL BE DETERMINED IN THE FIELD BY THE PROJECT ARCHITECT & MEP IN COORDINATION WITH THE PROJECT CIVIL ENGINEER. WATER SERVICE, FIRE SERVICE, AND SEWER LATERAL LOCATION TO BE FIELD MARKED WITH PAINT MARKINGS, WOODSTAKE, AND/OR UTILITY MARKING FLAGS.
- CONTRACTOR SHALL ADJUST ANY UTILITY LIDS AND/OR COVERS IN PROJECT AREA TO THE FINISHED GRADE.
- ANY APPARENT DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL RESTORE ALL EXISTING PAVEMENT, UTILITIES, (ABOVE AND BELOW GROUND), AND SURFACE FEATURES DISTURBED DURING CONSTRUCTION TO A CONDITION EQUAL TO, OR BETTER THAN THE EXISTING IN ACCORDANCE WITH THE DADE COUNTY PUBLIC WORKS DEPARTMENT STANDARDS AND SPECIFICATIONS.
- PROVIDE PAVEMENT RESTORATION AS PER THE CITY OF MIAMI PUBLIC WORKS DEPARTMENT STANDARDS AND SPECIFICATIONS.
- 10. WATER MAINS AND SANITARY SEWER LINES MUST MAINTAIN A MINIMUM SEPARATION FROM EACH OTHER AS PER G.S. 1.5
- 11. CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND FAMILIARIZING HIMSELF WITH THE EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- 12. DIMENSIONS SHOWN ON THESE DRAWINGS ARE APPROXIMATE, FOR EXACT DIMENSIONS, SEE FINAL PLAT OR SITE PLAN PREPARED BY A REGISTERED LAND SURVEYOR OR THE ARCHITECT. FIELD LAYOUT WORK SHALL BE AS PER THE FINAL PLAT AND SITE PLAN MENTIONED ABOVE AND SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR.
- 13. THE ENGINEER IS NOT RESPONSIBLE FOR COORDINATING THE WORK OF OTHER UTILITIES, SUB-CONSULTANTS OR TRADES. IT IS THE OWNER'S RESPONSIBILITY TO PROVIDE COORDINATION FOR, BUT NOT LIMITED TO, THE LOCATION OF WATER, SEWER, AND DRAINAGE UTILITIES, AS WELL AS THE SERVICES, WITH THE LOCATION OF DRIVEWAYS, SIDEWALKS, RAMPS, LANDSCAPING, OTHER INFRASTRUCTURE IMPROVEMENTS AND OTHER SURFACE FEATURES.
- 14. PROVIDE CONCRETE THRUST BLOCK AT ALL BENDS, TEES AND PLUGS AS PER MDWASD STANDARDS AND SPECIFICATIONS.
- 15. EXTEND SEWER LATERALS 2 FEET INTO PROPERTY LINE
- 16. CONTRACTOR SHALL BE RESPONSIBLE FOR SHEATHING WHERE REQUIRED.
- 17. BLUE 2" X 4" MARKER TO BE INSTALLED AT EACH WATER SERVICE.
- 18. GREEN 2" X 4" MARKER TO BE INSTALLED AT EACH SEWER SERVICE.

DADE COUNTY HEALTH DEPARTMENT NOTES:

WATER MAIN VERTICAL SEPARATIONS

SEPARATIONS BETWEEN WATER MAINS AND GRAVITY SEWER, VACUUM TYPE SEWER, OR STORM SEWERS, TO BE PREFERABLY 12 INCHES OR AT LEAST 6 INCHES ABOVE OR AT LEAST 12 INCHES IF BELOW.*

PRESSURE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR RECLAIMED WATER, AT LEAST 12 INCHES ABOVE OR BELOW.*

* NOTE: CENTER 1-FULL LENGTH OF WATER MAIN PIPE AT CROSSINGS; ALTERNATIVELY ARRANGE PIPES SO JOINTS ARE AT LEAST 3 FEET FROM JOINTS IN VACUUM, STORM OR STORM FORCE MAINS, AT LEAST 6 FEET FROM JOINTS IN GRAVITY OR PRESSURE SEWERS. WASTEWATER FORCE MAINS OR RECLAIMED WATER.

WATER MAIN HORIZONTAL SEPARATIONS

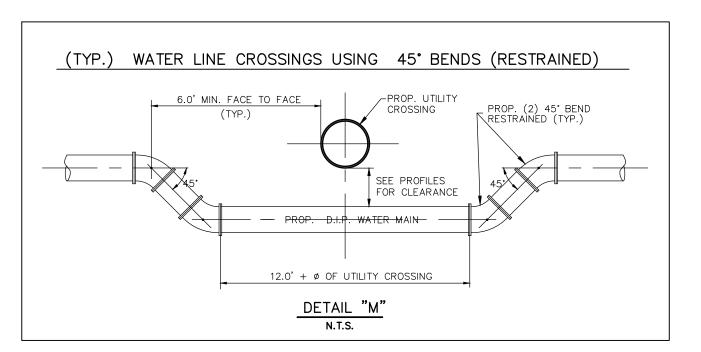
SEPARATIONS SHALL BE MEASURED OUTSIDE EDGE TO OUTSIDE EDGE BETWEEN WATER MAINS AND STORM SEWERS, STORM WATER FORCE MAINS, OR RECLAIMED WATER LINES, SHALL BE 3 FT MINIMUM.

BETWEEN WATER MAINS AND VACUUM TYPE SEWER PREFERABLY 10 FT, AND AT LEAST 3 FT

GRAVITY OR PRESSURE SANITARY SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER PREFERABLY 10 FT AND AT LEAST 6 FT MAY BE REDUCED TO 3 FT, WHERE BOTTOM OF WATER MAIN IS AT LEAST 6 INCHES ABOVE TOP OF SEWER.

10 FT TO ANY PART OF ON-SITE SEWER TREATMENT OR DISPOSAL SYSTEM.

ALL PIPES AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT WILL BE COLOR CODED OR MARKED IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA ADMINISTRATIVE CODE (F.A.C. 62-555.320(21)(b)3) USING BLUE AS A PREDOMINANT COLOR. UNDERGROUND METAL OR CONCRETE PIPE WILL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPING WILL BE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE LONG AXIS OF THE PIPE AND ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE. AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE.



NOT PART OF M-DWASD NOTES NOR APPROVAL

MANHOLES/CROSSWALKS/JOINTS
MANHOLES EXTENDING 1" OR MORE ABOVE THE TRAVEL LANE AND CROSSWALKS HAVING AN UNEVEN SURFACE GREATER THAN 1/4" SHALL HAVE A TEMPORARY ASPHALT APRON CONSTRUCTED AS SHOWN IN THE DIAGRAM BELOW.
ALL TRANSVERSE JOINTS THAT HAVE A DIFFERENCE IN ELEVATION OF 1" OR MORE SHALL HAVE A TEMPORARY ASPHALT APRON CONSTRUCTED AS SHOWN IN THE DIAGRAM BELOW.
—ASPHALT APRON
TEMPORARY SURFACE
THE APRON IS TO BE REMOVED PRIOR TO CONSTRUCTING THE NEXT LIFT OF ASPHALT. THE COST OF THE TEMPORARY ASPHALT SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR MAINTENANCE OF TRAFFIC, LS.

RER-DERM WATER-SEWER GENERAL NOTES

- 1: A horizontal distance of at least 6 feet, and preferably 10 feet (outside to outside), shall be maintained between gravity or pressure sewer pipes and water pipes. The minimum horizontal separation can be reduced to 3 feet for vacuum type sewers or for gravity sewers where the top of the sewer pipe is at least 6 inches below the bottom of the water pipe. When the above specified horizontal distance criterial cannot be met due to an existing underground facility conflict, smaller separations are allowed if one of the following The sewer pipes are designed and constructed equal to the water pipe and pressure tested at 150 psi.
 The sewer is encased in a watertight carrier pipe or concrete.
 The top of the sewer is at least 18 inches below the bottom of the water pipe.
- 2. A vertical distance of at least 12 inches (outside to outside) shall be maintained between any water and sewer mains with sewer pipes preferably crossing under water mains. The minimum vertical separation can be reduced to 6 inches for vacuum type sewers or for gravity, sewers where the sewer pipe is below the water main. The crossing shall be arranged so that all water main joints are at least 6 feet from all joints in gravity and pressure sewer pipes. This distance can be reduced to 3 feet for vacuum-type sewers. When the above specified vertical distance criteria cannot be metidue to an existing underground facility conflict, smaller separations are allowed if one of the following is met: a) The sewer pipes are designed and constructed equal to the water pipe and pressure tested at 150 psi.
- b) The sewer is encased in a watertight carrier pipe or concrete.
- 3. Air release valves shall be provided at high points of new force main sanitary sewers.

when the total leakage is below that allowed.

- 14. Gravity sanitary sewers constructed within a public wellfield profection area shall be C-900 PVC or Ductile Iron Pipe. The maximum allowable exhitration rate of gravity sanitary sewers constructed in a public wellfield protection area shall be: a) Residential Land Uses. Fifty (50) gallons per Inch pipe diameter per mile per day, based on a minimum two (2) hour test having a minimum of two (2) feet of positive head above the crown of the pipe.
- b) Non-Residential Land Uses. Twenty (20) gallons per inch pipe diameter per mile per day, based on a minimum two (2) hour test having a minimum of two (2) feet of positive head above the crown of the pipe.

 d) Any observed leaks or any obviously defective joints or pipes shall be replaced even when the total leakage is below that allowed.
- 5. The maximum allowable exhittration rate of gravity sanitary sewers constructed outside a public welffield protection area shall be one hundred (100) gallons per inch pipe diameter per mile per day, based on a minimum two (2) hour test having a minimum of two (2) feet of positive head above the crown of the pipe. Any observed leaks or any obviously defective joints or pipes shall be replaced even
- 6. Forcemain sanitary sewers constructed within a public wellfield protection area shall be ductile fron, C-900 PVC, HDPE or reinforced
- 7. The maximum allowable exhitration/leakage rate of forcemain sanitary sewers shall be:
 a) Ductile Iron, C-900 PVC, HDPE and PVC Pipe. The allowable leakage rate specified in American Water Works Association Standard (AWWAS) C600-82 at a test pressure of 100 psi for a duration of not less than two (2) hours.
 b) Reinforced Concrete Pressure Pipe. Half (1/2) the allowable leakage rate specified in AWWA C600-82 at a test pressure of 100 psi
- for a duration of not less than two (2) hours. c) Any observed leaks or any obviously defective joints or pipes shall be replaced even when the total leakage is below that allowed. 3. The contractor shall verify nature, depth, and character of existing underground utilities prior to start of construction.
- 9. In no case shall a contractor install utility pipes, conduits, cables, etc. in the same trench above an existing water or sewer pipe
- 10. If any area of the work site is found to contain buried solid waste and/or ground or ground water contamination, the following shall a) All work in the area shall follow all applicable safety requirements (e.g., OSHA, etc.) and notification must be provided to the
- appropriate agencies.
 b) Immediately notify the Environmental Monitoring and Restoration Division (EMRD). The EMRD can be contacted at (305).
- cc) If contaminated soils and/or buried solid waste material is excavated during construction, then they require proper handling and disposal in accordance with the local, state and federal regulations. Be advised that the landfill owner/operator is the final authority on disposal and may have requirements beyond those provided by herein. If disposal within a Miami-Dade County owned landfill (Class I landfill) is appropriate and selected, please contact the Miami Dade County Department of Solid Waste
- d) The reuse of contaminated soils that are not returned to the original excavation requires prior approval of a Soil Management –Plan from the Environmental Monitoring and Restoration Division. The EMRD can be contacted at (305) 372-6700:
- 11. Pumps must comply with the National Electrical Code (NEC) requirements for Class I, Group D, Division 1 locations (Explosion Proof). 12. The contractor is advised that a Tree Removal/Relocation Permit may be required prior to the removal and/or relocation of tree resources. Prior to removing or relocating any trees, the Contractor shall notify the Tree and Forest Resources Section of DERM at (305) 372-6574 or via e-mail at: tirs@miamidade.gov, or contact the municipality with tree ordinance jurisdiction to obtain any required permits. Those trees not interfering with the construction shall be protected in place in accordance with the provisions of
- Section 24-49.5 of the Miami-Dade Cod 13: Please note that the demolition, removal, and/or disturbance of existing underground utilities that contain assestos, cement pipes (ACP) are subject to the provisions of 40 CFR-61 Subpart M. Therefore, pursuant to the provisions of 40 CFR-61-145, a NOTICE OF DEMOLITION OF ASSESTOS RENOVATION form must be filed with the Air Quality Management Division (AQMD) of DERM, at least ten (10) working days prior to starting of any work. Note that the backfilling and burial of crushed ACP would cause these locations to considered active disposal sites and subject to 40 CFR-61.154, and 40 CFR-61.151 a year after project complet Existing standard operating procedures, as well as applicable federal, state and local regulatory criteria, must be followed and plemented to minimize any potential release of fugitive emissions, especially during project construction activities. The AQMD can be contacted via email at asbestos@miamidade.gov or 305-372-6925;

NOT PART OF M-DWASD NOTES NOR APPROVAL

UNDERGROUND CONTRACTORS:

- A.- UNDERGROUND CONTRACTOR SHALL COMPLY WITH THE TRENCH SAFETY ACT, HB 3183, FLORIDA STATUTES, WHICH INCORPORATES, BUT IS NOT LIMITED TO, THE FOLLOWING:
 - 1.- OSHA STANDARD 29 C.F.R. PART 1926, SUBPART P, EXCAVATION AND
 - 2.- CONTRACT BIDS FOR TRENCH EXCAVATIONS (IN EXCESS OF 5 FEET DEEP) SHALL INCLUDE REFERENCE TO THE SAFETY STANDARDS, WRITTEN ASSURANCE OF COMPLIANCE, AND A SEPARATE ITEM IDENTIFYING THE COST OF COMPLIANCE.
 - 3.- ADHERE TO ANY SPECIAL SHORING REQUIREMENTS OF THE STATE OR OTHER POLITICAL SUBDIVISION.
- B.- ENGINEER IS NOT RESPONSIBLE FOR THE SAFETY OF THE EXCAVATION OR DESIGN AND CONSTRUCTION OF ANY SHORING.

FORD ENGINEERS, INC. 1950 N.W. 94th AVENUE, 2nd FLOOR MIAMI, FLORIDA 33172 PH. (305) 477-6472 FAX (305) 477-8054

	F	REC	COF	RD	OF	- F	RE V	<u> (ISI</u>	ON	
	APP.									
	ВУ	REC								
	Z									
	DESCRIPTION									
	SCRI									
	DE									
	\TE									
	DATE									
	10.									

GE Е

S AND \Box WATER,

<u>APARTMENT</u>

ALE

ROY

SCALE: N.T.S. DESIGNED BY: R. LAGE DRAWN BY: A. MORGADO

CHECKED BY: R. LAGE

03/27/19 PROJECT No: 19-002