



Application No.:

SP-2018-026

Attachment "B"

Site Plan Application

**CEDAR HOLDING, LLC
SITE PLAN**

A RESOLUTION OF THE MAYOR AND TOWN COUNCIL OF THE TOWN OF CUTLER BAY, FLORIDA, APPROVING THE SITE PLAN OF CEDAR HOLDING, LLC TO PERMIT A ONE HUNDRED NINETY-NINE (199) UNIT RESIDENTIAL APARTMENT BUILDING AT THE POINT ROYALE SHOPPING CENTER, WHICH IS ON PROPERTY LOCATED AT 18901 SOUTH DIXIE HIGHWAY (FOLIO # 36-6005-070-0010), AS LEGALLY DESCRIBED IN EXHIBIT "A", CONSISTING OF APPROXIMATELY 3.58 ACRES; AND PROVIDING FOR AN EFFECTIVE DATE.



BERCOW RADELL FERNANDEZ & LARKIN

ZONING, LAND USE AND ENVIRONMENTAL LAW

DIRECT LINE: (305) 377-6229
E-Mail: gpenn@BRZoningLaw.com

VIA HAND DELIVERY

November 6, 2019

Mr. Alex David
Interim Director
Community Development Department
Town of Cutler Bay
10720 Caribbean Boulevard, Suite 110
Cutler Bay, Florida 33189

RE: Revised Letter of Intent Point Royale Apartments – Site Plan Approval
Application (Folios 36-6005-070-0010)

Dear Mr. David:

Our firm represents Cedar Holding, LLC (the "Applicant"), the owner of the property located at 18901 South Dixie Highway in the Town of Cutler Bay (the "Town"), Florida, further identified by Miami-Dade County Property Appraiser Folio No. 36-6005-070-0010 (the "Property"). This letter shall serve as the Applicant's revised letter of intent in support of the Site Plan approval application for a 199-unit residential building (the "Project") at the Point Royale Shopping Center.

Background. The Project was heard by the Town Council on September 18th, 2019 and after a lengthy discussion, the application was continued at the request of the Council. The Applicant heard the Council's concerns and the public's comments and went back to the drawing board to address the comments expressed at the hearing. The proposed plans have been revised as follows:

1. The number of units has been reduced from an initially proposed 265-units to 199 units.
2. The east portion of the building, the area closest to the residential neighborhoods, was significantly reduced in height to 3-stories and the 7-story portion of the building has now been set back

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approximately 227 feet from the eastern property line. The west portion of the building, closest to South Dixie Highway, is proposed at 7-stories. As you will recall, the previous submittal showed the entire building at 7-stories in height.

3. The original application included a second parcel owned by the Applicant located to the east of the Property (the "East Parcel") where the Applicant was proposing to develop a park and, after approval, dedicate the park to the Town. There were concerns expressed at the September 18th hearing about the Town's willingness to accept the park. To address these concerns, the Applicant has removed the East Parcel from the application and is no longer proposing a park on the East Parcel. No development plan is currently proposed for the East Parcel, which remains zoned for single family development.
4. To address safety concerns in connection with traffic circulation within the Point Royale Shopping Center, the Applicant is proposing to introduce new crosswalks, fire lane striping, stops signs along internal north-south corridor, speed humps, and improved pedestrian circulation consistent with Sheet A0.09 of the revised plans.

The Property. The Property consist of tax folio number 36-6005-070-0010 and is approximately 3.58 acres of land. The Property is located along the South Dixie Highway corridor on the northeast corner of the Point Royale Shopping Center between Marlin Road and the C-1 Canal. The Property fronts South Dixie Highway and is currently developed with the US-1 Discount Mall, a commercial building approximately 49,959 square feet in size. The Property is subject to a Covenant in Lieu of Unity of Title that ties it to a unified site plan with the remainder of the Point Royale Shopping Center, as well as related parking and access easements.

Land Use. The Town of Cutler Bay's Future Land Use Map (FLUM) for its Growth Management Plan designates the Property as "Mixed Use." The Town of Cutler Bay Growth Management Plan requires that residential components, as part of mixed use developments located in the US-1 corridor, must be more than twenty percent (20%) but no greater than eighty percent (80%) of the total floor area of a mixed use building. The Project's floor area consists of 57.8% residential

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uses and the remainder of the Point Royale Shopping Center amounts to 42.2% of retail floor area.

Zoning. The Property is zoned TRC "Transit Corridor District." The Transit Corridor District provides for the location of transit-oriented uses and those uses which have a market area that extends beyond the scale of the corridor and surrounding neighborhoods. See Sec. 3-59, Cutler Bay Land Development Regulations. The intent of the district is to facilitate convenient access, minimize traffic congestion, and reduce visual clutter to create a development pattern that improves the aesthetic quality and character of the US 1 corridor within the town. Buildings are required to relate to the street with a pedestrian scale, rather than to parking lots. Site design criteria is required to facilitate ease of pedestrian access along the corridor and the bus way.

Covenant. After approval of this application the Covenant in Lieu of Unity of Title will be modified to revise the approved site plan. The Applicant has worked with the Town's attorney and other Point Royale Shopping Center owners to discuss next steps in modification of the recorded Covenant and will continue to work with the Town and other owners following approval of this application.

Proposed Development. The Applicant proposes to develop the Property with a transit-oriented, 199-unit residential building ranging between three (3) to seven (7) stories, conveniently located along the US-1 corridor. The Project will make the existing Point Royale Shopping Center a mixed-use center with a variety of existing commercial uses and the proposed a residential component. The Property is the ideal location for higher intensity residential uses because residents will enjoy convenient access to retail and restaurants within the center and, therefore, eliminate additional traffic congestion in the area. Additionally, the Project has been tastefully designed and will improve the aesthetic quality and character of the US 1 Corridor.

The Project is significantly set back from the US 1 Corridor while also providing pedestrian access and private parking for all residents. The Applicant is proposing 360 parking spaces where 358 parking spaces are required. In accordance with Section 3-74(5) of the Code the Project is utilizing a 10% parking reduction. Residents will enjoy private key-fob access into and out of the garage. The Project provides state of the art amenities for residents, including a roof-top pool and amenity space and a playground at the ground level. The

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redevelopment program proposes beautiful landscaping which will significantly improve the existing conditions at the Property.

Green Building Program Designation. The proposed development will be one of the firsts, if not the first, project in the Town to obtain National Green Building Standards ("NGBS") certification and will avail itself to some of the bonuses available through the Green Building Program Designation, namely a permitted height of up to seven (7) stories for a portion of the Project. The Project will be designed to ensure resource, energy and water efficiency as well as long-term sustainability. Overall, the Project will advance the Town's sustainable development goals. See Abney & Abney Green Solutions Report

Site Plan Approval Criteria. In accordance with Section 3-33 of the Town of Cutler Bay Land Development Regulations, the Project satisfies the Site Plan Approval criteria as follows:

- a. The development permitted by the application, if granted, conforms to the growth management plan, is consistent with applicable area or neighborhood studies or plans, and would serve a public benefit warranting the granting of the application at the time it is considered.

The Project is consistent with the Growth Management Plan by providing a mixed-use residential component along the US 1 Corridor. Additionally, the Project provides convenient access, minimizes traffic congestion and will improve the aesthetic quality and character of the US 1 Corridor.

- b. The development permitted by the application, if granted, will have a favorable impact on the environmental and natural resources of the town, including consideration of the means and estimated cost necessary to minimize the adverse impacts, the extent to which alternatives to alleviate adverse impacts may have a substantial impact on the natural and human environment, and whether any irreversible or irretrievable commitment of natural resources will occur as a result of the proposed development.

The Project will have a favorable impact on the environmental and natural resources of the Town of Cutler Bay and no irreversible or irretrievable

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commitment of natural resources will occur as a result of the proposed development.

- c. The development permitted by the application, if granted, will have a favorable or unfavorable impact on the economy of the town.

The Project will have a favorable impact on the Town's economy by elevating the tax base. Additionally, by providing a residential component in a mixed-use shopping center, local businesses will have an increase clientele with convenient access. The Applicant retained the services of Miami Economic Associates, Inc. ("MEA") to study the fiscal benefits of the proposed Project. MEA estimates that the Project will create over 300 direct and indirect jobs and labor income is estimated at over \$4,000,000. See MEA Economic Impact Study. In addition, the Project is estimated to generate thousands of dollars annually in taxes to the Town.

- d. The development permitted by the application, if granted, will efficiently use or not unduly burden water, sewer, solid waste disposal, recreation, education or other necessary public facilities which have been constructed or planned and budgeted for construction.

The Applicant has submitted and secured approval of the previously proposed plans for review by all disciplines to ensure the Project will not unduly burden water, sewer, solid waste disposal, recreation, education or other necessary public facilities. All disciplines issued favorable approvals for the previously proposed plans which included a greater number of units and, therefore, a greater impact. Accordingly, the Applicant anticipates a finding that the revised plans for the Project will also receive favorable approval.

- e. The development permitted by the application, if granted, will efficiently use or not unduly burden or affect public transportation facilities, including mass transit, roads, streets and highways which have been constructed or planned and budgeted for construction, and if the development is or will be accessible by public or private roads, streets or highways.

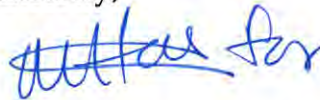
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The Project will efficiently use public transportation facilities, including mass transit, roads, streets and highways. The Applicant anticipates the Project will have minimal impact on local traffic as residents are expected to utilize pedestrian friendly paths and bicycles as their primary form of transport. The Applicant engaged the services of David Plummer and Associates to prepare a traffic impact study. The proposed methodology was approved by Miami-Dade County and the results of the traffic study were reviewed by the Town's consultants. An assessment of the traffic impacts associated with the proposed project was performed in accordance with the Town's requirements. All roadway segments analyzed are projected to operate within the Town's Level of Service Standards, and for all roadway segments analyzed, traffic volumes associated with the project are at levels generally considered de minimus.

As part of the study, a mobility and circulation plan was completed. The plan shows that the project is located in an area that is conducive for pedestrian and bicycle activities. Sidewalks are available along most roadways, clearly marked crosswalks are available at major intersections throughout the area. The project is served by various Miami-Dade Transit bus routes and is within walking distance to the South Dade (bike) Trail and the South Miami - Dade Busway. This should encourage the use other modes of transportation and reduce vehicular impact on the roadway network.

Conclusion. We respectfully request your prompt review and recommendation of the proposed Project. Thanks again for your help. Should you have any questions or concerns, please do not hesitate to phone my direct line at (305) 377-6229.

Sincerely,



Graham Penn

Enclosures

cc: Joe Akar
Maritza Haro Salgado, Esq.



APPLICATION FOR SITE PLAN APPROVAL

LIST ALL FOLIO #S: 36-6005-070-0010

DATE RECEIVED: _____

PROPOSED PROJECT NAME: Point Royale Apartments

- 1. NAME OF APPLICANT** (Provide complete name of applicant, exactly as recorded on deed, if applicable. If applicant is a lessee, an executed 'Owner's Sworn-to-Consent' and copy of a valid lease for 1 year or more is required. If the applicant is a corporation, trust, partnership, or like entity, a 'Disclosure of Interest' is required).

Cedar Holding, LLC

- 2. APPLICANT'S MAILING ADDRESS, TELEPHONE NUMBER:**

Mailing Address: 56 NE 1 Street

City: Miami State: FL Zip: 33132 Phone#: 305-374-5300

- 3. OWNER'S NAME, MAILING ADDRESS, TELEPHONE NUMBER:**

Owner's Name (Provide name of ALL owners): Cedar Holding, LLC

Mailing Address: 56 NE 1 Street

City: Miami State: FL Zip: 33132 Phone#: 305-374-5300

- 4. CONTACT PERSON'S INFORMATION:**

Name: Graham Penn/Maritza Haro Salgado Company: Bercow Radell Fernandez & Larkin PLLC

Mailing Address: 200 S. Biscayne Blvd., Suite 850

City: Miami State: FL Zip: 33131

Phone# 305-374-5300 Fax# 305-377-6225 E-mail: GPenn@BrZoningLaw.com
MHaro@BrZoningLaw.com





5. LEGAL DESCRIPTION OF ALL PROPERTY COVERED BY THE APPLICATION

(Provide complete legal description, i.e., lot, block, subdivision name, plat book & page number, or metes and bounds. Include section, township, and range. If the application contains multiple rezoning requests, then a legal description for each sub-area must be provided. Attach separate sheets, as needed).

See Exhibit A

6. ADDRESS OR LOCATION OF PROPERTY (For location, use description such as NE corner of, etc).

18901 S. Dixie Highway, Cutler Bay FL 33157

7. SIZE OF PROPERTY (in acres): 3.58 (divide total sq. ft. by 43,560 to obtain acreage)

8. DATE PROPERTY ☒ acquired ☐ leased: September 18th, 2000

9. LEASE TERM: N/A Years (Month & year)

10. IF CONTIGUOUS PROPERTY IS OWNED BY THE SUBJECT PROPERTY OWNER(S), provide Complete legal description of said contiguous property.

Yes, Folio No. 36-6005-014-0010



11. Is there an option to purchase ☐ or lease ☐ the subject property or property contiguous thereto? ☒ no ☐ yes (if yes, identify potential purchaser or lessee and complete 'Disclosure of Interest' form)

12. PRESENT ZONING AND FLU CLASSIFICATION: Zoning: TRC
FLU: Mixed Use

13. PROPOSED USE OF PROPERTY (describe nature of the request in space provided)

Applicant proposes to develop the property with a three (3) to seven (7) story residential building with 199 units.

14. Has a public hearing been held on this property within the last year & a half?

☒ No ☐ yes.

If yes, provide applicant's name, and date, purpose and results of hearing, and resolution number:

15. Is this hearing a result of a violation notice?

☒ No ☐ yes. If yes, give name to whom the Violation notice was served and describe the violation:

16. Does property owner own contiguous property to the subject property? If so, give complete legal description of entire contiguous property:

Yes, Folio No. 36-6005-014-0010

17. Is there any existing use on the property? ☐ No ☒ yes. If yes, what use and when established?

Use: Commercial Year:



18. Submitted Materials Required:

Please check all that Apply:

- ☐ Substantial Improvement
- ☐ Letter of intent
- ☐ Justifications for change
- ☐ Statement of hardship
- ☐ Poof of ownership or letter from owner
- ☐ Power of attorney
- ☐ Contract to purchase (if applicable)
- ☐ Current survey (2 original sealed and signed and 10 reduced 11x17 copies)
- ☐ Complete set of plans 24'x36", scale 1'=50' (2 original sealed and signed and 10 reduced 11x17 copies)
- ☐ Colored rendering of all 4 sides of each proposed building (If applicable)
- ☐ 20% Property owner signatures (If required)
- ☐ Mailing Labels (set amount depends on number of hearings) and map (If required)
- ☐ Required Fee(s)
- ☐ Plans must be approved by Miami-Dade County Fire and Rescue Department with an original stamp and signature from the Fire Dept.
- ☐ Necessary documentation from DERM and WASD





APPLICANT'S AFFIDAVIT

The Undersigned, first being duly sworn depose that all answers to the questions in this application, and all supplementary documents made a part of the application are honest and true to the best of (my)(our) knowledge and belief. (I)(We) understand this application must be complete and accurate before the application can be submitted and the hearing advertised.

OWNER OR TENANT AFFIDAVIT

(I)(WE), _____, being first duly sworn, depose and say that (I am)(We are) the ☐ owner ☐ tenant of the property described and which is the subject matter of the proposed hearing.

Signature

Signature

Sworn to and subscribed to before me
This ____ day of _____, _____

Notary Public: _____
Commission Expires: _____

CORPORATION AFFIDAVIT

(I)(WE), Joseph Akar, being first duly sworn, depose and say that (I am)(We are) the ☒ President ☐ Vice-President ☐ Secretary ☐ Asst. Secretary of the aforesaid corporation, and as such, have been authorized by the corporation to file this application for public hearing; and that said corporation is the ☒ owner ☐ tenant of the property described herein and which is the subject matter of the proposed hearing.

Attest: _____

Authorized Signature

(Corp. Seal)

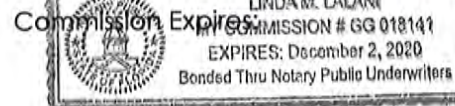
Office Held

Sworn to and subscribed to before me

This 25 day of April, 2018

Has A FL Driver Lic.
A 260 XXXX 900

Notary Public: _____





PARTNERSHIP AFFIDAVIT

(I)(WE), _____, being first duly sworn, depose and say that
 (I am)(We are) partners of the hereinafter named partnership, and as such, have been authorized to file this application for a public hearing; and that said partnership is the ☐ owner ☐ tenant of the property described herein which is the subject matter of the proposed hearing.

By _____ %
 By _____ %

 (Name of Partnership)
 By _____
 By _____

Sworn to and subscribed to before me
 This _____ day of _____, _____

Notary Public: _____
 Commission Expires: _____

ATTORNEY AFFIDAVIT

I, Graham Penn, being first duly sworn, depose and say that I am a State of Florida Attorney at Law, and I am the Attorney for the Owner of the property described and which is the subject matter of the proposed hearing.

Sworn to and subscribed to before me
 This 3 day of May, 2018

 Signature
 Notary Public: Betty Llerena
 Commission Expires: 3/5/2022





PARTNERSHIP AFFIDAVIT

(I)(WE), _____, being first duly sworn, depose and say that
(I am)(We are) partners of the hereinafter named partnership, and as such, have been authorized to file this application for a public hearing; and that said partnership is the ☐ owner ☐ tenant of the property described herein which is the subject matter of the proposed hearing.

By _____ %
By _____ %

Sworn to and subscribed to before me
This _____ day of _____, _____

(Name of Partnership)
By _____
By _____

Notary Public: _____
Commission Expires: _____

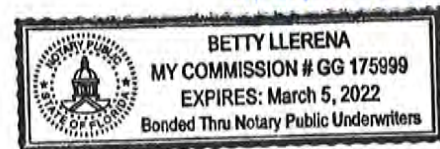
ATTORNEY AFFIDAVIT

I, Maritza Haro Salgado, being first duly sworn, depose and say that I am a State of Florida Attorney at Law, and I am the Attorney for the Owner of the property described and which is the subject matter of the proposed hearing.

[Signature]
Signature

Sworn to and subscribed to before me
This 3 day of May, 2018

Notary Public: [Signature]
Commission Expires: 3/5/2022





RESPONSIBILITIES OF THE APPLICANT

I AM AWARE THAT:

1. The Department Environmental Resources Management (DERM), and other agencies review and critique zoning applications which may affect the scheduling and outcome of applications. These reviews may require additional public hearings before DERM's Environmental Quality Control Board (EQCB), or other boards, and /or the proffering of agreements to be recorded. I am also aware that I must comply promptly with any DERM conditions and advise this office in writing if my application will be withdrawn.
2. Filing fees may not be the total cost of a hearing. Some requests require notices to be mailed to property owners up to a mile from the subject property. In addition to mailing costs, fees related to application changes, plan revisions, deferrals, re-advertising, etc., may be incurred. Application withdrawn within 30 days of the filing are eligible for a refund of 25% of the hearing fee but after that time hearings withdrawn or returned will be ineligible for a refund. I understand that fees must be paid promptly.
3. The South Florida Building Code requirements may affect my ability to obtain a building permit even if my zoning application is approved; and that a building permit will probably be required. I am responsible for obtaining permits and inspections for all structures and additions proposed, or built without permits. And that a Certificate of Use and Occupancy must be obtained for the use of the property after it has been approved at Zoning Hearing, and that failure to obtain the required permits and/or Certificates of Completion or of Use and Occupancy will result in enforcement action against any occupant and owner. Submittal of the Zoning Hearing application may not forestall enforcement action against the property.
4. The 3rd District Court of Appeal has ruled that zoning applications inconsistent with the Comprehensive Development Master Plan (CDMP) cannot be approved by a zoning board based upon considerations of fundamental fairness. Therefore, I acknowledge that if the hearing request is inconsistent with the CDMP and I decide to go forward then my hearing request can only be denied or deferred, but not approved.
5. In Miami-Dade County v. Ominpoint Holdings, Inc. Case No. 3d01-2347 (Fla. 3rd DCA 2002), the 3rd District Court of Appeal has held invalid the standards for non-use variances, special exceptions, unusual uses, new uses requiring a public hearing and modification of covenants. This is not a final decision and the County Attorney's Department professional staff to develop new standards that will address the Court's concerns. While the new standards are being developed, applicants are advised that any non-use variance, special exception, unusual use, new use requiring a public hearing or request for modification of covenants granted under the existing standards are subject to being reversed in the courts. An applicant wishing to avoid the substantial legal risks associated with going forward under the existing standard may seek a deferral until the new standards are developed.



6. Any covenant to be proffered must be submitted to the Town of Cutler Bay Legal Counsel, on Town form, at least 1 month prior to the hearing date. The covenant will be reviewed and the applicant will be notified if changes or corrections are necessary. Once the covenant is acceptable, the applicant is responsible to submit the executed covenant with a current 'Opinion of Title' within 1 week of the hearing. And that Legal Counsel must carry a cover letter indicating subject matter, application number and hearing date.
7. The Town of Cutler Bay Department of Public Works reviews and critiques Zoning applications and may require conditions for approval.
8. Each party will be limited to a presentation of 20 minutes. This time limitation may be extended by the Chair of the meeting.
9. **THE APPLICANT IS RESPONSIBLE FOR TRACKING THE STATUS OF THE APPLICATION AND ALL HEARINGS THAT MAY BE ASSOCIATED WITH THIS APPLICATION.**


 (Applicant's Signature)

Sworn to and subscribed before me this 25 day of April, 2018.

Affiant is personally known to me or has produced FL Driver's Lic. A260XXXX as identification.


 (Notary Public)

My Commission Expires: _____





DISCLOSURE OF INTEREST

If the property, which is the subject of the Application, is owned or leased by a **CORPORATION**, list the Principal Stockholders and the percentage of stock owned by each. NOTE: Where the Principal Officers or Stockholders consist of another Corporation(s), Trustee(s), Partnership(s) or other similar entities, further disclosure shall be required which discloses the identity of the individual(s) (natural persons) having the ultimate ownership interest in the aforementioned entity.

Cedar Holding LLC

Corporation Name

Name, Address and Office

Percentage of stock

JOSEPH AKAR
56 NE 1st Street
Miami, FL 33132

100 %

If the property, which is the subject of the Application, is owned or leased by a **TRUSTEE**, list the Principal Stockholders and the percentage of stock owned by each. NOTE: Where the Principal Officers or Stockholders consist of another Corporation(s), Trustee(s), Partnership(s) or other similar entities, further disclosure shall be required which discloses the identity of the individual(s) (natural persons) having the ultimate ownership interest in the aforementioned entity.

Trust Name

Name, Address and Office

Percentage of stock

If the property, which is the subject of the Application, is owned or leased by a **PARTNERSHIP or LIMITED PARTNERSHIP**, list the Principal Stockholders and the percentage of stock owned by each. NOTE: Where the Principal Officers or Stockholders consist of another Corporation(s), Trustee(s), Partnership(s) or other similar entities, further disclosure shall be required which discloses the identity of the individual(s) (natural persons) having the ultimate ownership interest in the aforementioned entity.

Partnership or Limited Partnership Name

Name, Address and Office

Percentage of stock



COST RECOVERY AFFIDAVIT

I hereby acknowledge and consent to the payment of **all applicable fees** involved as part of my application process. These fees include but are not limited to: application fees, postage, advertising, and attorney fees **regardless of the outcome of the public hearing.**

Please type or print the following:

Date: _____ Public Hearing No. _____

Full Name:

Mr. Mrs. Ms. Joseph Akar

Current Address: 56 NE 1ST Street City: Miami

State: FL Zip: 33132 Telephone Number (786) 797-3333

Date of Birth: 03-10-63

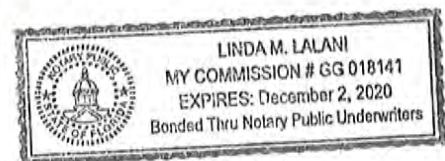
Signature

Has A FL Driver Lic. A260XXXVS00

SWORN AND SUBSCRIBED BEFORE ME THIS 25 DAY OF April 2018

[Signature]
Notary Public, State of Florida at Large

My Commission expires Dec. 02 2020





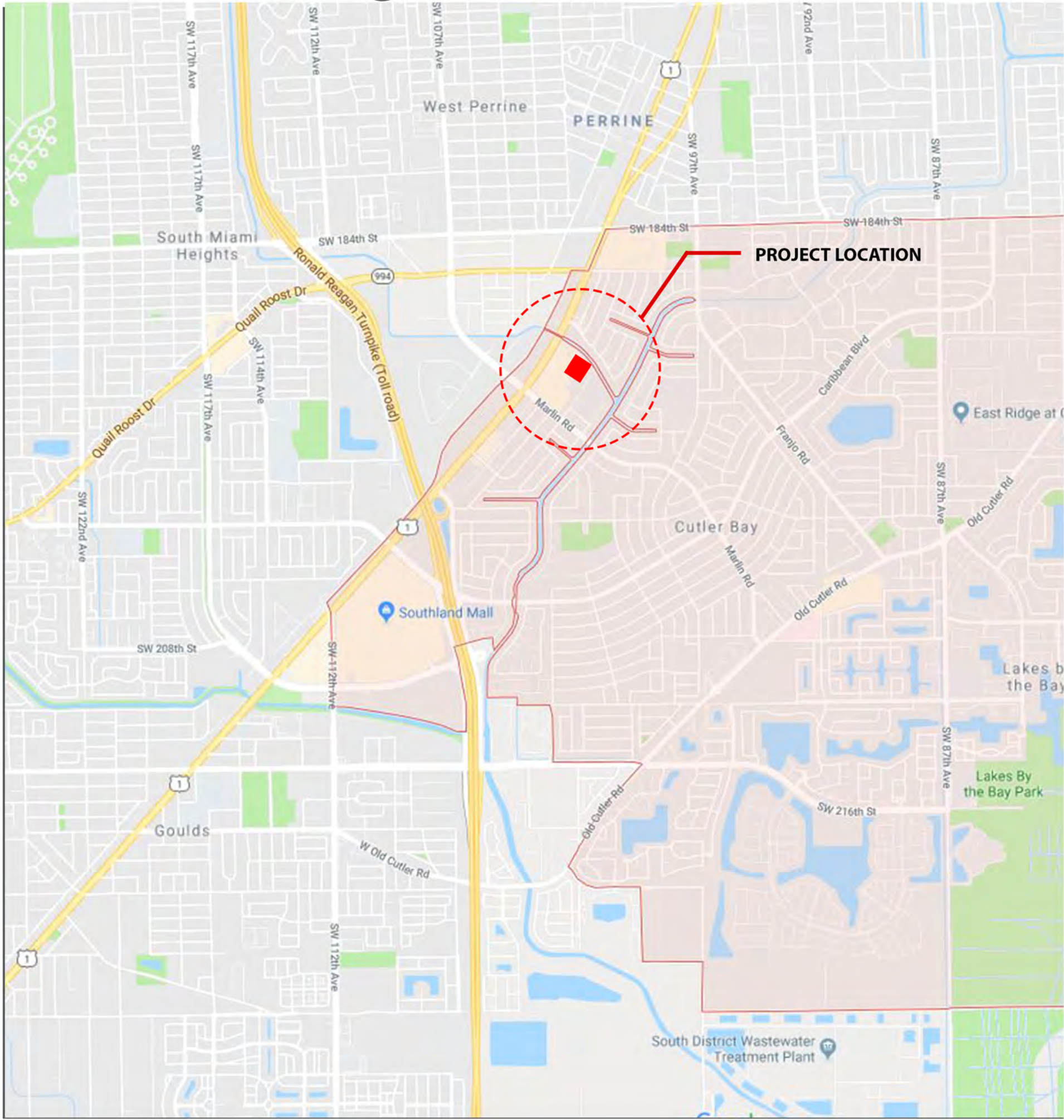
Pursuant to Ordinance No. 2000-09-33-Cost Recovery



PROJECT INDEX

SURVEY		PHOTOMETRIC	PH-01
CONTEXT	A0.00	PHOTOMETRIC	PH-02
SITE PLAN EXHIBIT	A0.01		
ZONING DATA	A0.02	TREE DISPOSITION PLAN	L-1.00
SITE DETAILS	A0.03	TREE DISPOSITION PLAN	L-1.10
FIRE TRUCK ACCESS PLAN	A0.04	PLANTING PLAN	L-2.00
WALKWAY PATH	A0.05	PLANTING PLAN	L-2.10
SECTION 3-80 (U)	A0.06	PLANTING PLAN	L-2.30
SECTION 3-80 (E)(H)	A0.07	PLANTING DETAILS	L-5.00
SECTION 3-80 (T)	A0.08	PLANTING SPECS	L-5.50
CIRCULATION PLAN	A0.09		
OVERALL SITE PLAN 1	A1.00		
BASEMENT LEVEL	A1.01		
LEVEL 1	A1.02		
LEVEL 1 COLOR	A1.02C		
LEVEL 2-3	A1.03		
LEVEL 4	A1.04		
LEVEL 5-7	A1.05		
UNIT PLAN	A1.06		
PROPOSED ELEVATIONS	A2.01		
PROPOSED ELEVATIONS	A2.02		
PROJECT RENDERINGS	A3.01		
PROJECT RENDERINGS	A3.02		

PROJECT LOCATION



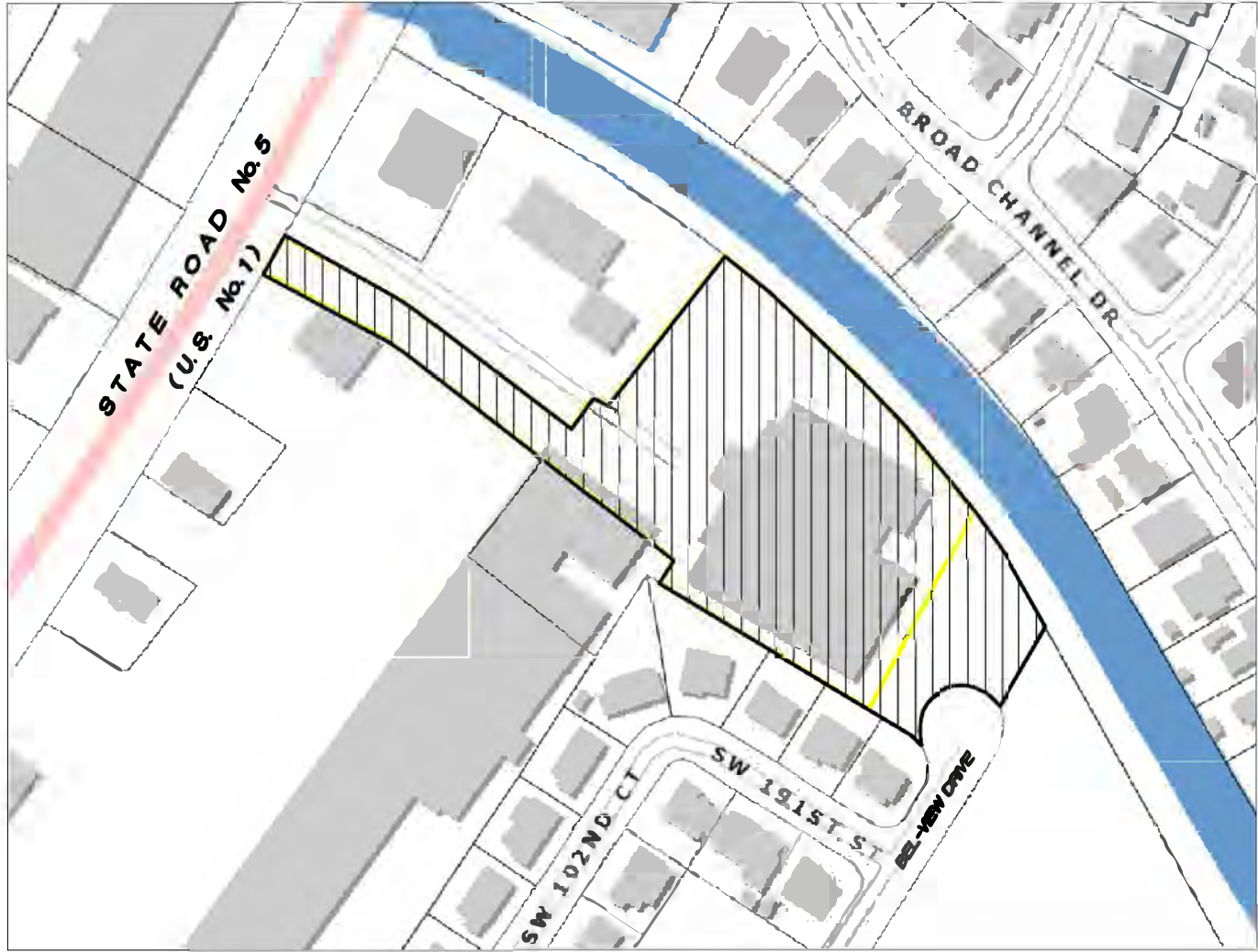
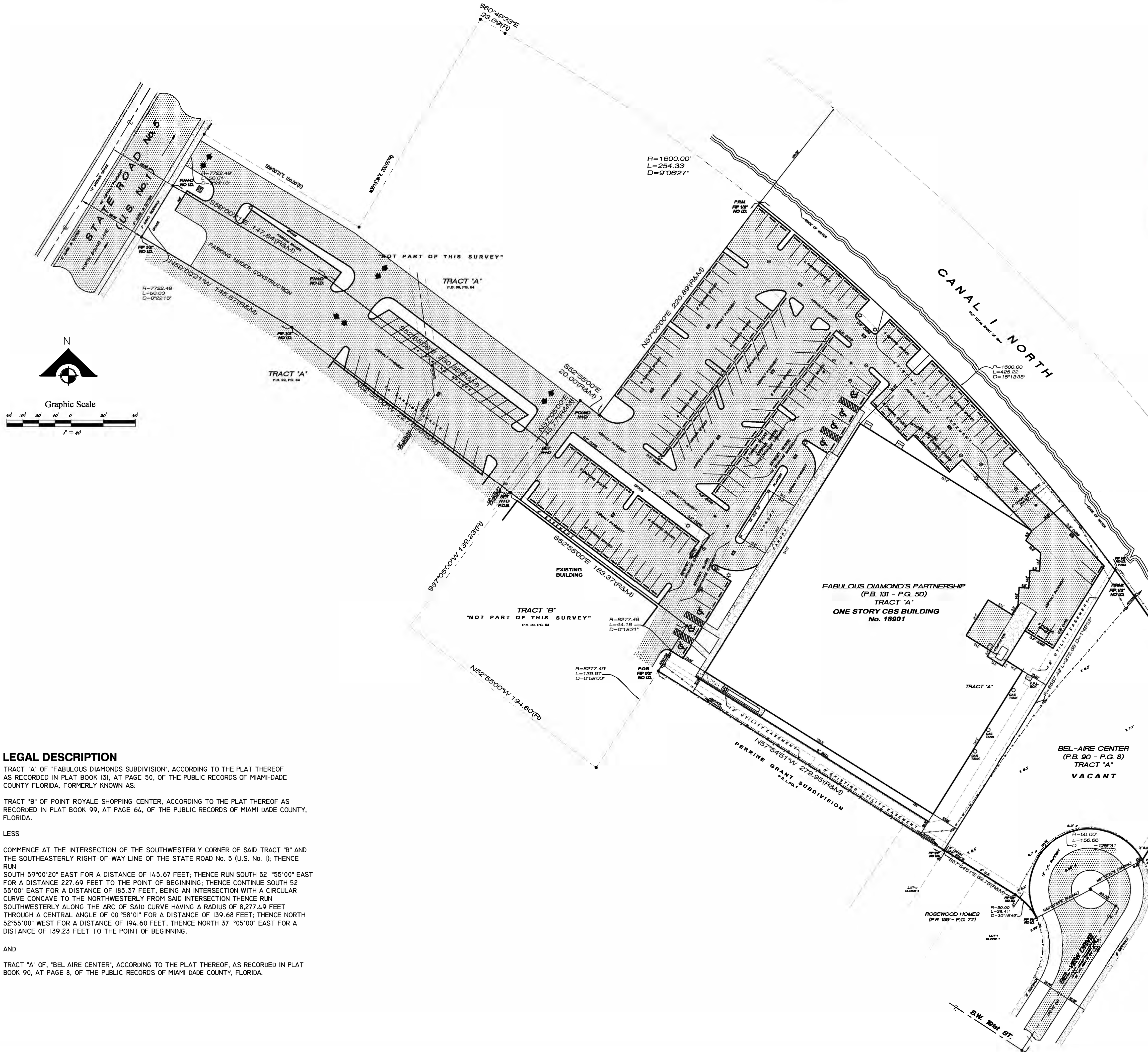
4955 SW 75th Avenue
Miami, Florida 33155
T. 786.879.8882
F. 786.350.1515

www.modisarchitects.com

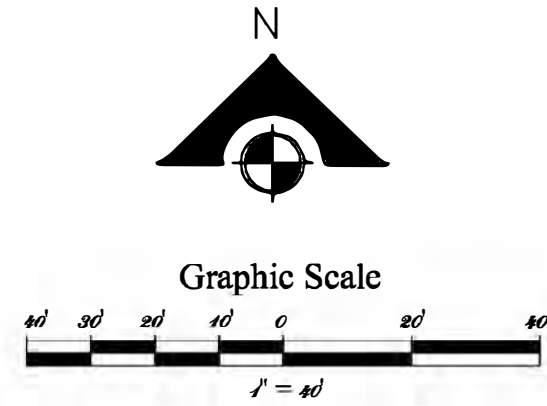
POINT ROYALE APARTMENTS

SITE PLAN REVIEW . CUTLER BAY FLORIDA / 11-06-2019

MAP OF BOUNDARY SURVEY



LOCATION MAP
(NOT TO SCALE)



LEGAL DESCRIPTION

TRACT "A" OF "FABULOUS DIAMONDS SUBDIVISION", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 131, AT PAGE 50, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY FLORIDA, FORMERLY KNOWN AS:

TRACT "B" OF POINT ROYALE SHOPPING CENTER, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 99, AT PAGE 64, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

LESS

COMMENCE AT THE INTERSECTION OF THE SOUTHWESTERLY CORNER OF SAID TRACT "B" AND THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF THE STATE ROAD NO. 5 (U.S. No. 1); THENCE RUN SOUTH 59°00'20" EAST FOR A DISTANCE OF 145.67 FEET; THENCE RUN SOUTH 52°55'00" EAST FOR A DISTANCE 227.69 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 52°55'00" EAST FOR A DISTANCE OF 183.37 FEET, BEING AN INTERSECTION WITH A CIRCULAR CURVE CONCAVE TO THE NORTHWESTERLY FROM SAID INTERSECTION THENCE RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 8,277.49 FEET THROUGH A CENTRAL ANGLE OF 00°58'01" FOR A DISTANCE OF 139.68 FEET; THENCE NORTH 52°55'00" WEST FOR A DISTANCE OF 194.60 FEET, THENCE NORTH 37°05'00" EAST FOR A DISTANCE OF 139.23 FEET TO THE POINT OF BEGINNING.

AND

TRACT "A" OF "BEL AIRE CENTER", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 90, AT PAGE 8, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

LEGEND OF SURVEY ABBREVIATIONS

A/C	= AIR CONDITIONING PAD	F.H.	= FIRE HYDRANT	RAD.	= RADIAL	D	= CENTRAL ANGLE	W.M.	= WATER METER
A	= ARC DISTANCE	F.I.P.	= FOUND IRON PIPE	RES.	= RESIDENTIAL	W.F.	= WOOD FENCE	S.M.	= SANITARY MANHOLE
B.L.D.G.	= BUILDING	F.R.	= FOUND REBAR	R/W	= RIGHT OF WAY	C.L.F.	= CHAIN LINK FENCE	W.V.	= WATER VALVE
C.B.S.	= CONCRETE BLOCK	M.H.	= MANT HOLE	SEC.	= SECTION	C.B.S.W.	= C.B.S. WALL	E	= ELEVATIONS
CH.	= CHORD DISTANCE	L.P.	= LIGHT POLE	S.I.P.	= SET IRON PIPE NO. 50/4	O.E.	= OVERHEAD ELECTRIC	L.P.	= LIGHT POLE
CL.	= CLEAR	M	= MEASURED	STY.	= SIGN	B.S.B.	= BELLSOUTH BOX	C.B.	= CATCH BASIN
C/L	= CENTER LINE	(R)	= RECORD	SWK	= SIGN WALK	C.B.	= CABLE BOX	W.M.	= WATER METER
CONC.	= CONCRETE	F.D.H.	= FOUND DRILL HOLE	U.E.	= UTILITY EASEMENT	N	= NOT TO SCALE		
		R	= RADIUS						

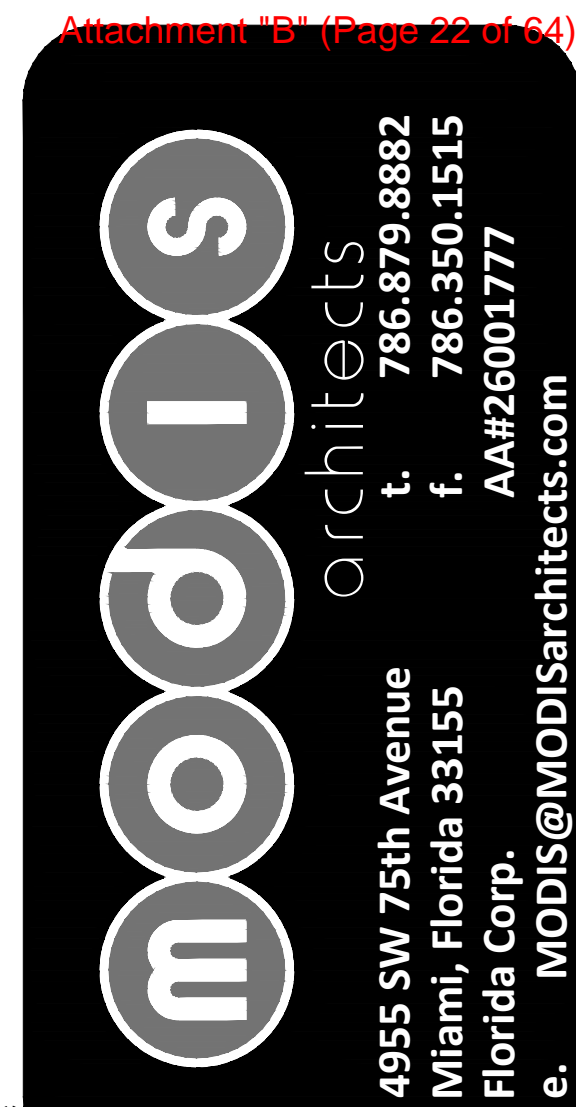
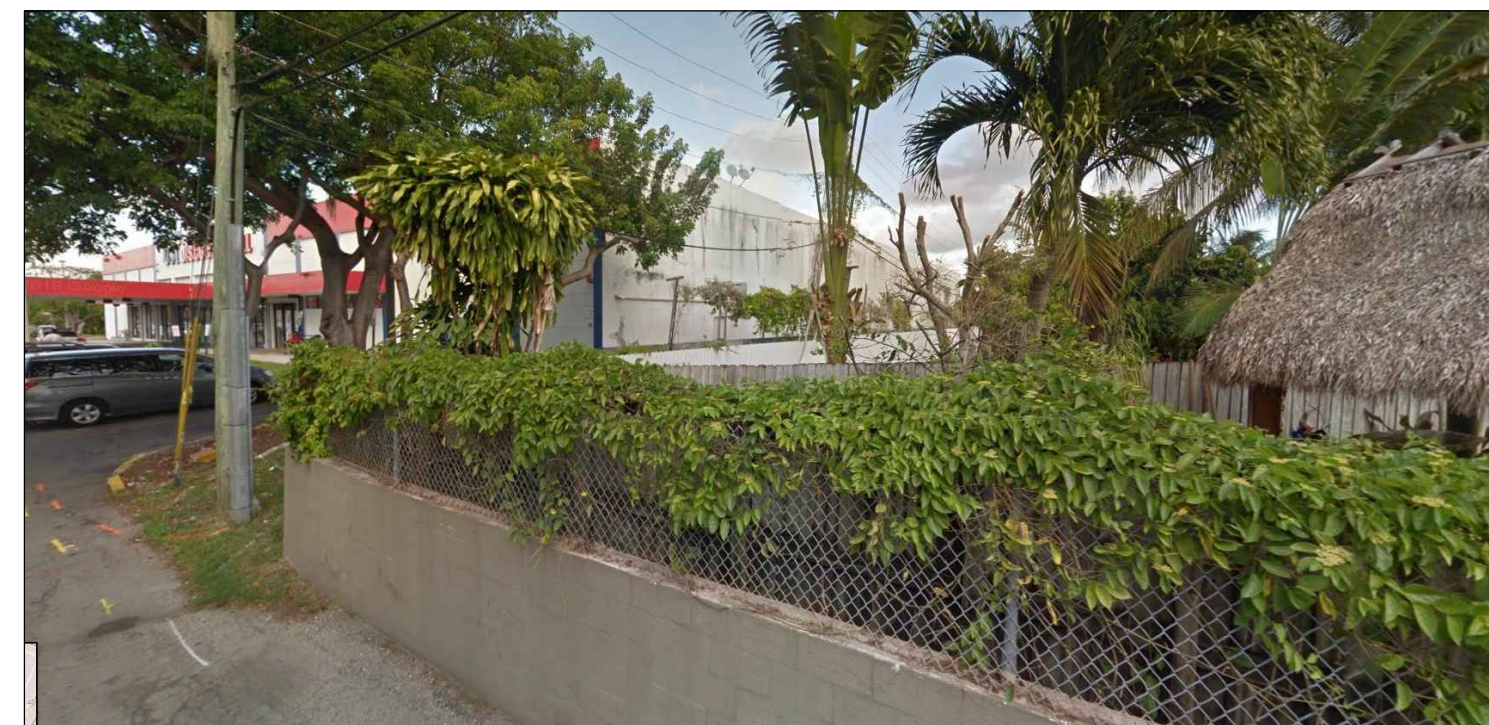
FLOOD ZONE: WITHIN ZONE: X ELEVATION: N/A COMMUNITY: 120218 PANEL No.: 0603 SUFFIX: L DATE: 09/11/2009	ORDER NO.: M-6539-AB FIELD BOOK: "FILE" DATE: OCTOBER 25, 2016 UPDATE: MAY 2, 2018 UPDATE: MAY 30, 2018 UPDATE: DECEMBER 28, 2018	PROPERTY ADDRESS: 18901 SOUTH DIXIE HIGHWAY 189XX BELVIEW DRIVE OUTLER BAY, FL 33157 FOR: CEDAR HOLDING, LLC.
--	--	---

I HEREBY CERTIFY THAT THIS DRAWING REPRESENTS THE RESULT OF A SURVEY OF THE WITHIN DESCRIBED PROPERTY AND THIS DRAWING AND SAID SURVEY WERE PREPARED BY ME OR UNDER MY DIRECTION. THERE ARE NO ENCROACHMENTS UNLESS SHOWN THEREON.

NOTES:
• THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
• EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORDS.
• LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY. UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT AN ATTEMPTED TO LOCATED FOOTINGS AND/OR FOUNDATIONS.
• NOT VISIBLE ENCROACHMENTS WERE FOUND ON THE PROPERTY, UNLESS SHOWN.
• IF SHOWN ELEVATIONS ARE REFERRED TO N.G.V.D. 1929
• BENCH MARK USED NO. R-736, WITH ELEVATION: 15.01'
• ALL BEARINGS SHOWN REFER TO AN ASSUMED MERIDIAN AS PER PLAT'S MAP.
BASIS OF BEARINGS IS THE SOUTH LINE OF SAID PROPERTY

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

NARCISO J. RAMIREZ
PROFESSIONAL LAND SURVEYOR & MAPPER
No. 2779
STATE OF FLORIDA
8341 SUNSET DRIVE
MIAMI, FL 33143
TEL: (305) 596-0888 & (305) 596-0990
E-MAIL: atlanticsservice@bellsouth.net



project info :

Point Royale
Apartments
Culter Bay, Florida

NOTIFY THE ARCHITECT AS TO ANY ERRORS OR OMISSIONS

seal :

ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :	

ALL DIMENSIONS
IN METERS

drawing data :

CONTEXT

project number :

#17093

drawn by :

proj. manager :

DRAWN BY

PM

drawing scale :

drawing date :

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10/25/2019

phase :

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sheet number :

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Point Royale
Apartments
Culter Bay, Florida

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FLORIDA REGISTERED ARCHITECT # AR 93259

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EXHIBIT

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1. ELECTRICAL SERVICE- FPL
2. WASTE SERVICES - WM OR EQUAL
3. WATER - MIAMI DADE WATER & SEWER
4. SECURITY - PRIVATE SECURITY WILL BE SELECTED AT TIME OF FINAL BUILDING PERMIT.
5. FIRE PROTECTION - MIAMI DADE COUNTY FIRE DEPARTMENT.

Point Royale Apartments (7 Story)											
Description			Required/ Permitting	Proposed							
Property Zoning:			(TRC) Transit Corridor District	(TRC) Transit Corridor District							
Lot Area							Unit Area Calculation				
Folio #		Lot	Acres			Leasable Area	A1 (1bd) 621 sf	A2 (1bd) 601 sf	A3 (1bd) 618 sf	B1 (2bd) 928 sf	Total
Multi-Family		36-6005-070-0010	155,945 sf	3.58 Acres		Balc./Terr.	35 sf	55 sf	70 sf	35 sf	
Total Lot Area		155,945 sf	3.58 Acres			Level 1	7	0	0	12	19
Density						Level 2	10	0	0	17	27
Multi-Family		36-6005-070-0010	75 units per acre	269 Units	199 Units	Level 3	16	5	5	23	49
FAR						Level 4	10	4	4	8	26
Multi-Family (Resident & Garage)		36-6005-070-0010	155,945 sf	389,863 sf	294,926 sf	Level 5	10	4	4	8	26
Max				2.5	1.89 %	Level 6	10	4	4	8	26
Lot Coverage						Level 7	10	4	4	8	26
Multi-Family		36-6005-070-0010		N/A	74,844 sf	Sub Total	73 Units	21 Units	21 Units	84 Units	199 DU
					48%		36.68%	10.55%	10.55%		
Open Space								57.79%		42.21%	100.00%
Multi-Family		36-6005-070-0010	155,945 sf	23,392 sf	32,057 sf	Parking Requirements					
Building Height						1 BD	115 DU	2.0 SP/DU		230 spaces	
		Number of Stories		5 Story		2 BD	84 DU	2.0 SP/DU		168 spaces	
			Apartment Garage		7 Story ** 3 Story	Sub-Total				398 spaces	
		Max. Height		60'		* Parking Reduction			10 %	40 spaces	
			Apartment Garage	72'-0" 35'-0"	70'-6" 35'-0"	Total Parking Required				358 spaces	
		** Increased Height as per Section 3-74 (4)				* Parking Reduction as per Section 3-74 (5)					
Setbacks											
Front		West		0'-0"	31'-7"	Parking Provided					
Side:		North		0'-0"	22'-6"		Standard	HC	EV (Electric Vehicle) / Hybrid Vehicle		Total
		South		35'-0"	35'-0"	Outdoor Surface	0	4	0		4
Rear		East		35'-0"	40'-3"	Basement	134	0	0		134
						Garage Level 1	106	2	18		126
						Garage Level 2	94	2	0		96
											</

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Point Royale Apartments Culter Bay, Florida

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Zoning Data

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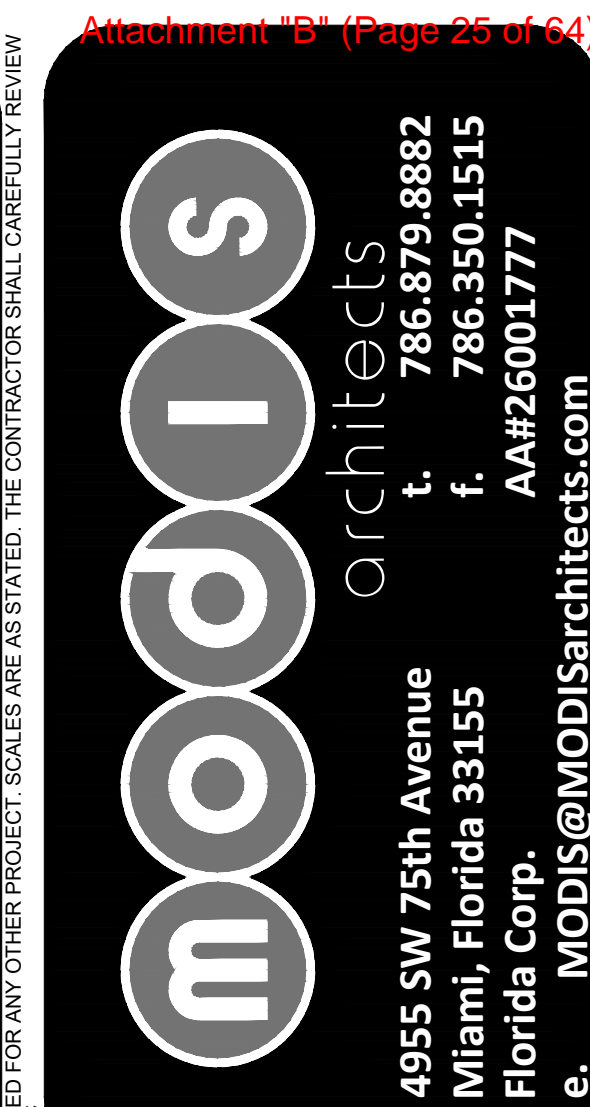
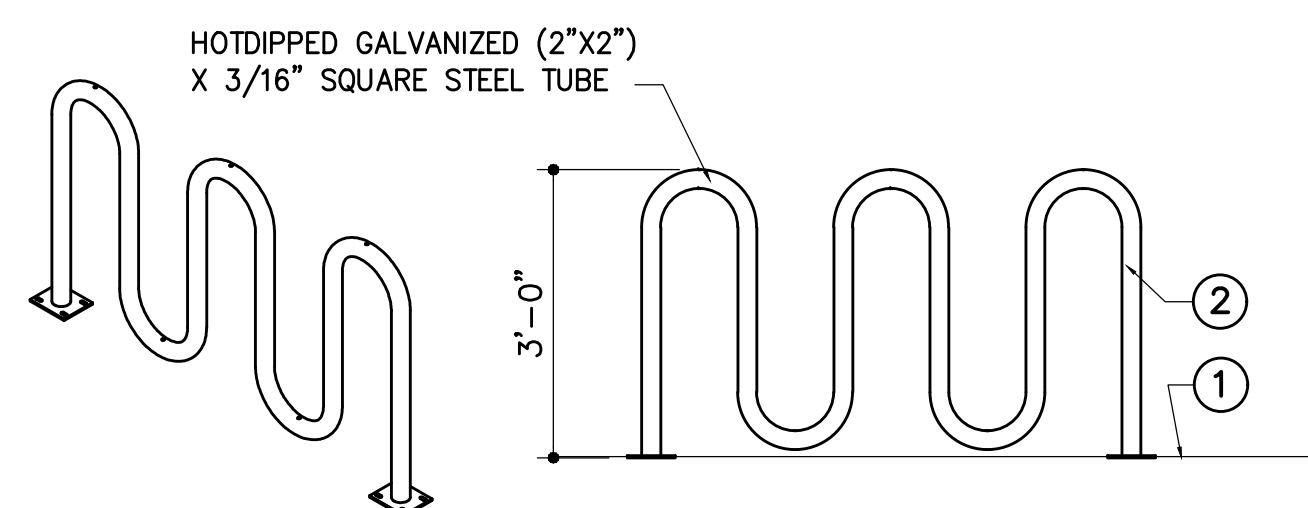
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Point Royale Apartments

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SITE DETAILS

AND **project number :**

#17093

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project info :

Point Royale
Apartments
Culter Bay, Florida

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FLORIDA REGISTERED ARCHITECT # AR 93259

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FIRE TRUCK
ACCESS PLAN

project number :
#17093

drawn by :
DRAWN BY

proj. manager :
PM

drawing scale :
As Shown

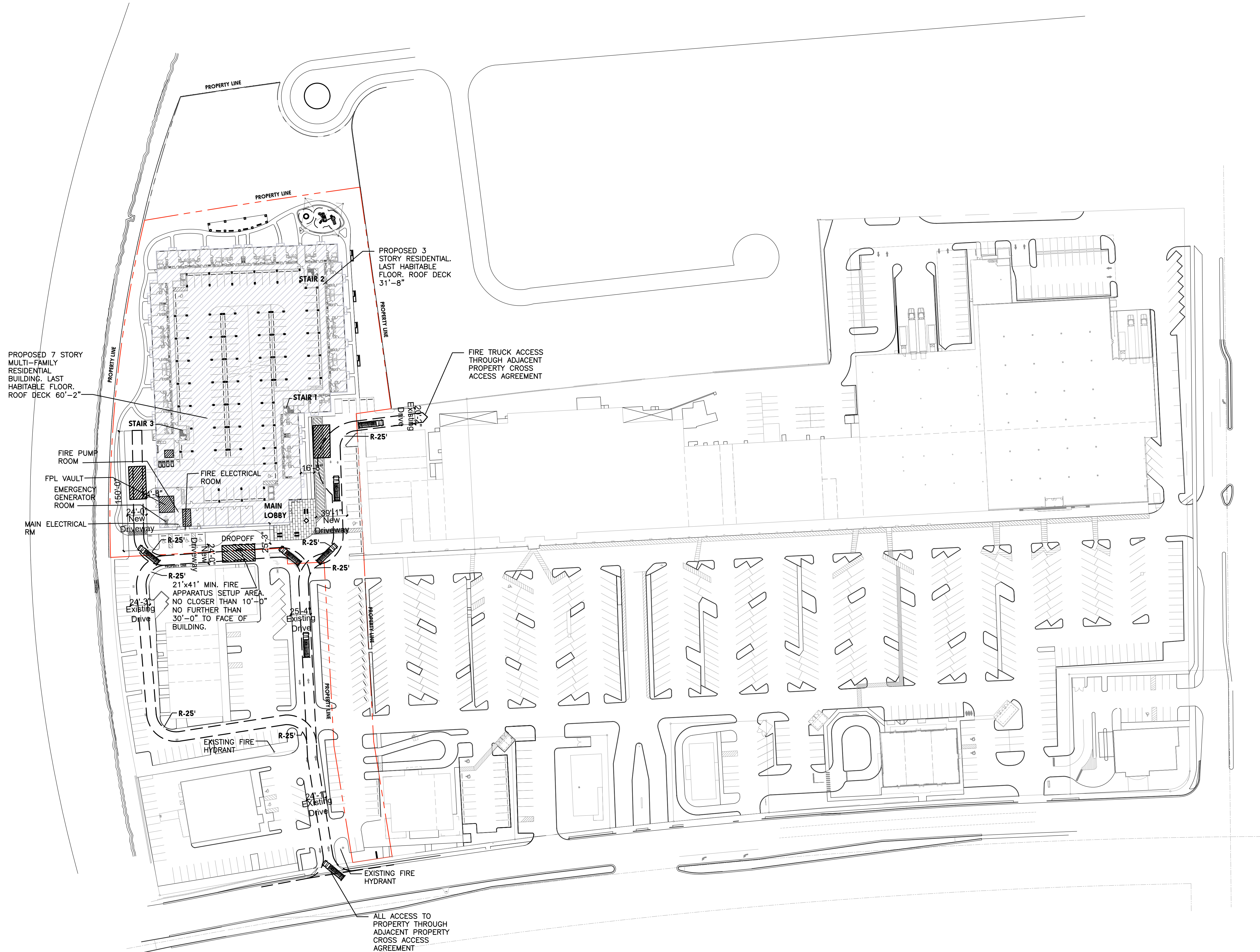
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10/25/2019

phase :
Site Plan Review

sheet number :
A0.04

FIRE DEPARTMENT NOTES :

1. A MINIMUM VERTICAL CLEARANCE OF FOURTEEN FEET FOR ALL FIRE TRUCK ACCESS ROUTES.
2. FIRE HYDRANTS SHALL FACE THE NEAREST ROADWAY AND REQUIRE A BLUE REFLECTOR IN CENTER OF ROADWAY.
3. BUILDINGS WITH STANDPIPES/SPRINKLERS REQUIRE A FIRE HYDRANT WITH 100 FEET OF EACH STANDPIPE/SPRINKLER FIRE DEPARTMENT CONNECTION.
4. NO TREE, BUSH, HEDGE, OR SHRUB, SHALL BE PLANTED WITHIN 15 FEET DIAMETER OF A HYDRANT AND ALL GRASS AND WEEDS SHALL BE KEPT TRIMMED SUCH THAT THE HYDRANT SHALL BE FULLY VISIBLE FROM THE STREET. CITY ORDINANCE 93.25(F)
5. HYDRANTS SHALL BE PROTECTED WITH BOLLARDS IF SUBJECT TO MECHANICAL DAMAGE.
6. ALL APARTMENT BUILDINGS, COMMERCIAL BUILDINGS, INDUSTRIAL BUILDINGS, AND MULTI-STORY BUILDINGS WITH THE CITY SHALL NUMBERED WITH THE STREET ADDRESS, WITH THE NUMBERS BEING NOT LESS THAN SIX, NOR MORE THAN NINE INCHES IN HEIGHT. THE NUMERALS SHALL CONTRAST WITH THEIR BACKGROUND AND BE KEPT FREE OF OBSTRUCTIONS
7. NUMBERS TO BE MAINTAINED IN A CONSPICUOUS PLACE WHERE THEY CAN BE SEEN AND READ FROM THE STREET. FIRE DEPARTMENT CONNECTIONS ARE TO FACE THE ROADWAY AND REQUIRE A RED REFLECTOR IN THE MIDDLE OF THE ROADWAY.
8. FIRE DEPARTMENT CONNECTIONS SHALL BE OF THE SAME PIPE DIAMETER AS THE LARGEST STANDPIPE CONNECTED AND SHALL BE PROTECTED BY A UL LISTED CHECK VALVE AND SHALL BE INSTALLED NOT LESS 18" NOR MORE THAN 4" ABOVE GRADE. FIRE DEPARTMENT REQUIRES FDC TO BE INSTALLED 3' ABOVE GRADE.
9. A PERMANENT SIGN CONSTRUCTED OF WEATHER RESISTANT METAL RIGID PLASTIC MATERIALS WITH RED AND WHITE LETTERS AT LEAST ONE INCH HIGH SHALL BE ATTACHED TO THE EXTERIOR OF THE BUILDING ADJACENT TO THE CONNECTION OR ON THE CONNECTION, SECURED WITH SUBSTANTIAL AND CORROSION RESISTANT FASTENERS, AND SHALL READ "STANDPIPE" AND/OR "SPRINKLER" AS APPLICABLE



Fire Truck Access Plan

SCALE 1"=60'-0"



Point Royale Apartments

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PEDESTRIAN WALKWAY & VEHICLE ACCESS TO U.S.1

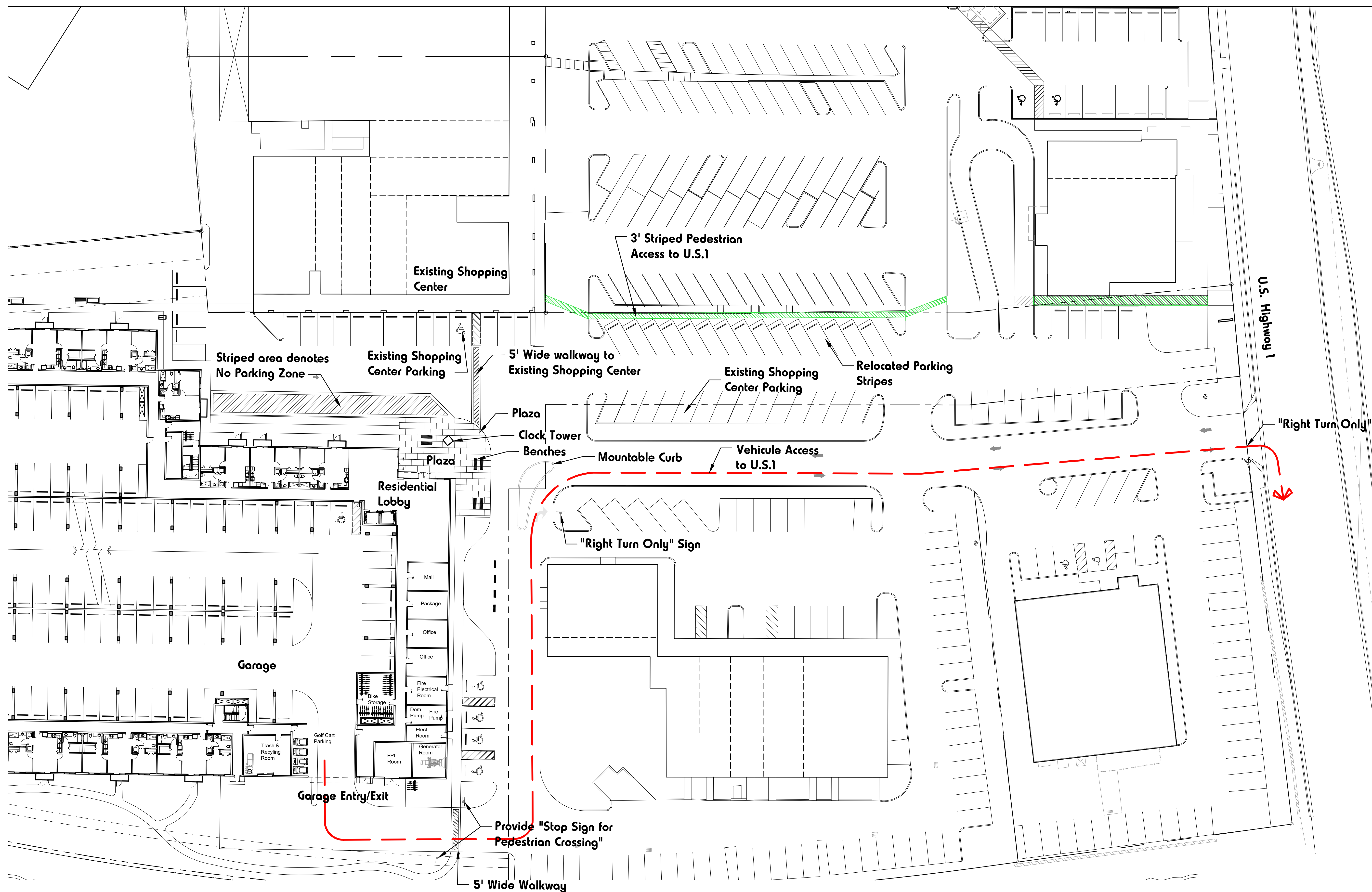
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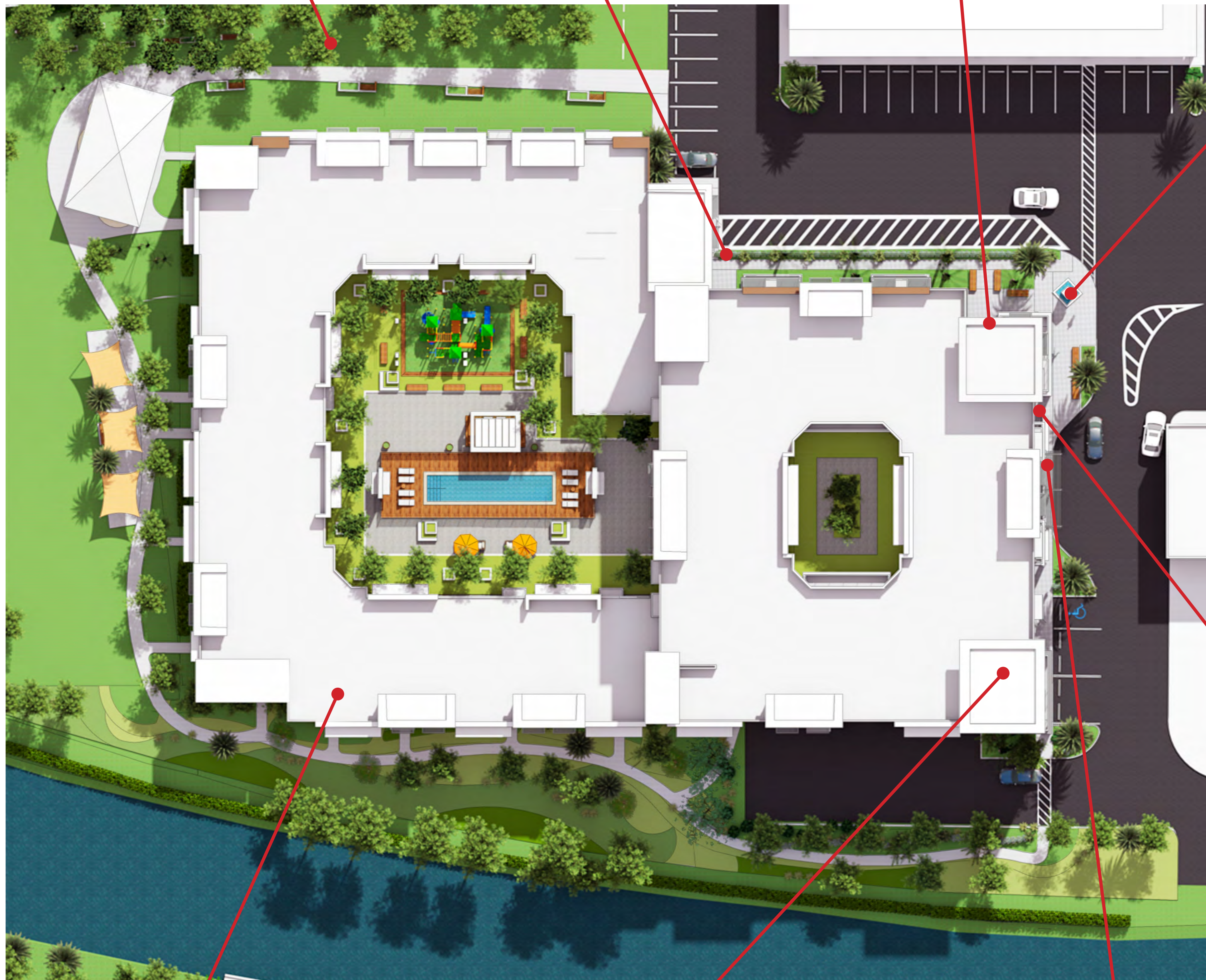
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Pedestrian Walkway & Vehicle access to U.S.1

SCALE: 1/16" = 1'-0"

**NOTE:
SEE SHEET A0.09 FOR
SHOPPING CENTER
VEHICULE CIRCULATION**



- 1-(1) - CANOPIES OR PORTICO INTEGRATED WITH THE BUILDING'S MASSING AND STYLE
- 2-(2) - OVERHANGS WITH A MINIMUM OF THREE FEET IN DEPTH ALONG ALL BUILDING FACADE
- 3-(5) - RAISED CORNICE OR BUILDING BANDING WITH A MINIMUM OF TWO RELIEFS ALONG BUILDING FACADE
- 4-(9) - ORNAMENTAL AND STRUCTURAL ARCHITECTURAL DETAILS, OTHER THAN CORNICES, WHICH ARE INTEGRATED INTO THE BUILDING STRUCTURE AND OVERALL DESIGN.
- 5-(10) - PROJECTED AND COVERED ENTRY STRUCTURE AND OVERALL DESIGN.
- 6-(12) - DECORATIVE LANDSCAPE PLANTERS, MINIMUM OF FIVE FEET WIDE, AND AREAS FOR SHADED SEATING CONSISTING OF A MINIMUM OF 100 SQUARE FEET.
- 7-(13) - INTEGRATION OF SPECIALTY PAVERS, OR STAMPED CONCRETE ALONG THE BUILDING'S WALKWAY. SAID TREATMENT SHALL CONSTITUTE A MINIMUM OF 60 PERCENT OF WALKWAY AREA.
- 8-(14) - WATER ELEMENTS, SUCH AS A DECORATIVE FOUNTAIN OR SIMILAR WATER FEATURE, A MINIMUM OF 300 SQUARE FEET IN AREA.

100



Pointe Royal
Apartments
Culter Bay, Florida

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FLORIDA REGISTERED ARCHITECT # AR 93259

SECTION
3-80(E)(H)

#17093

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- 1-(1) - PATIO WITH A MINIMUM OF 1,000 SQ FT IN AREA WITH SHADED SEATING
- 2-(2) - PEDESTRIAN PLAZA WITH A MINIMUM OF 1,000 SQ FT IN AREA WITH BENCHES AND SHADE STRUCTURES
- 3-(5) - OUTDOOR SHADED PLAYGROUND AREA WITH A MINIMUM OF 1,000 SQ FT IN AREA
- 4-(8) - FOCAL FEATURE

POINT ROYALE
Apartments
Culter Bay, Florida

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SECTION
3-80(T)

project number :

#17093

drawn by : proj. manager :

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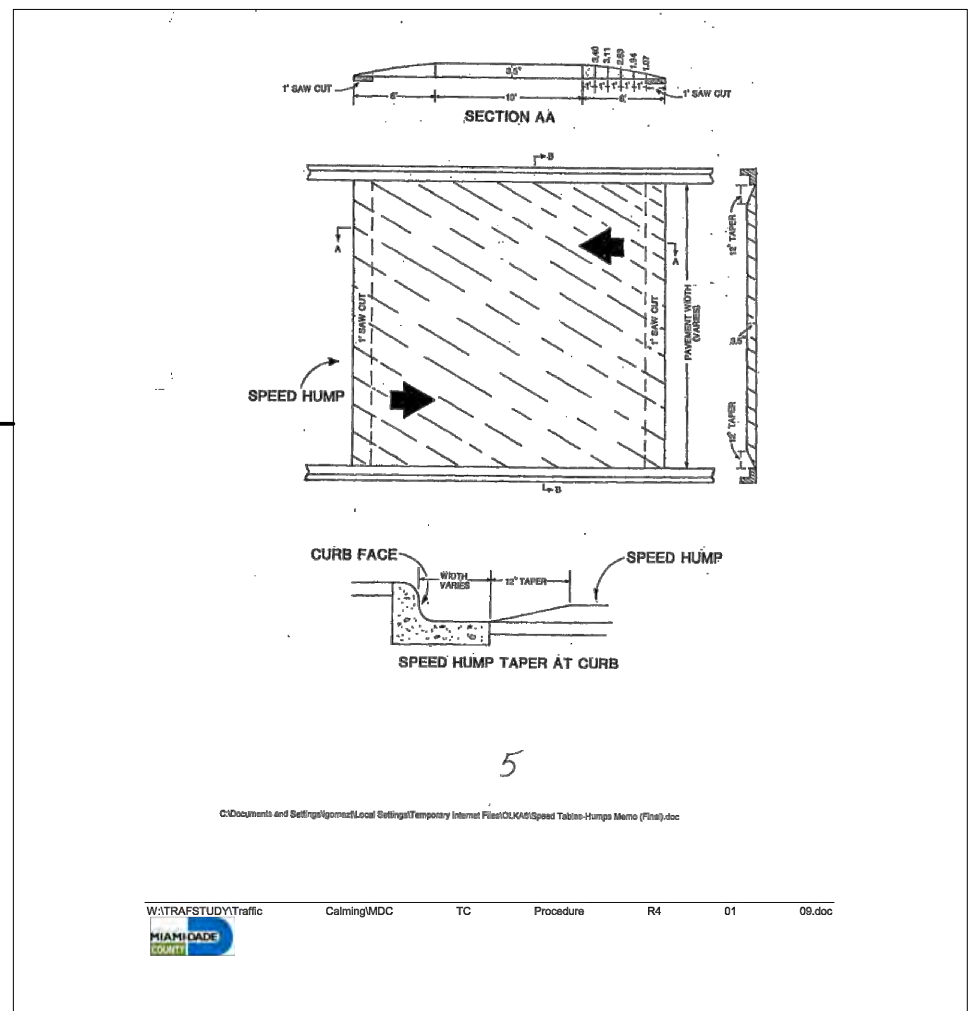
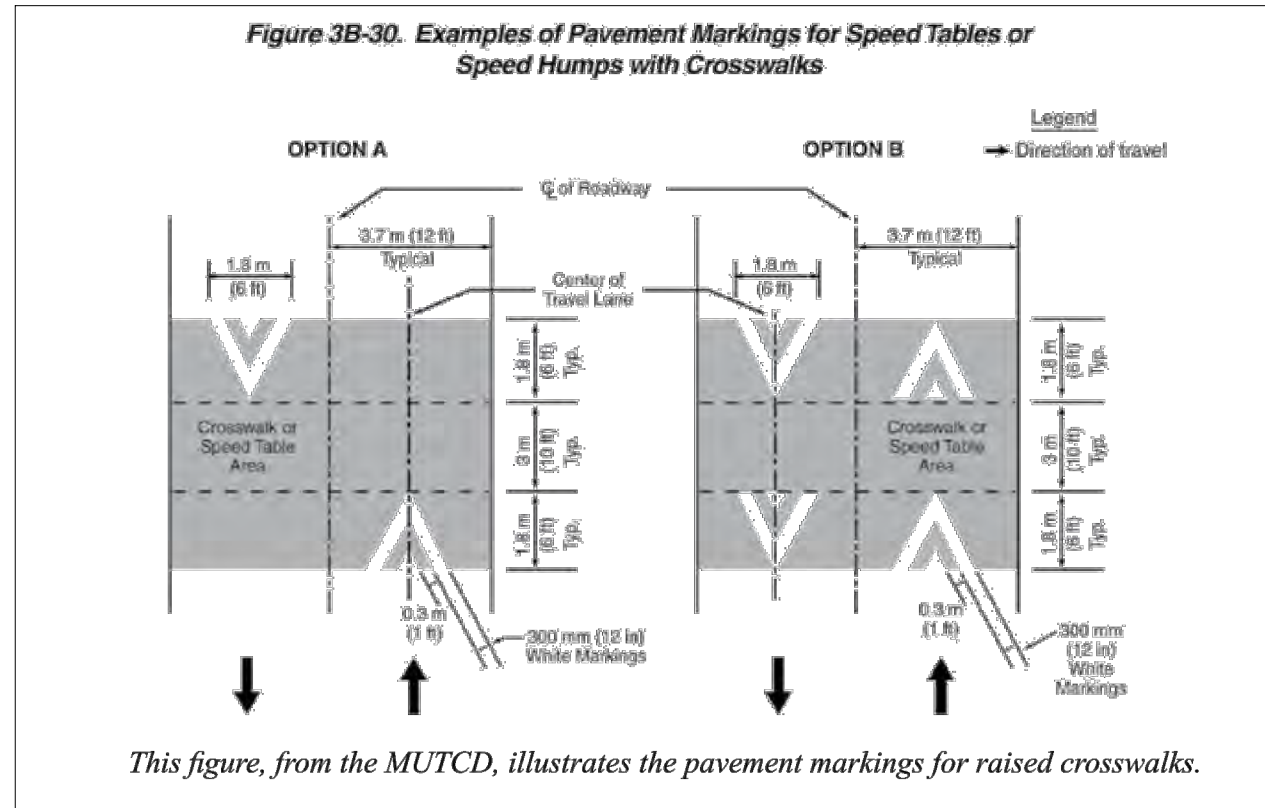
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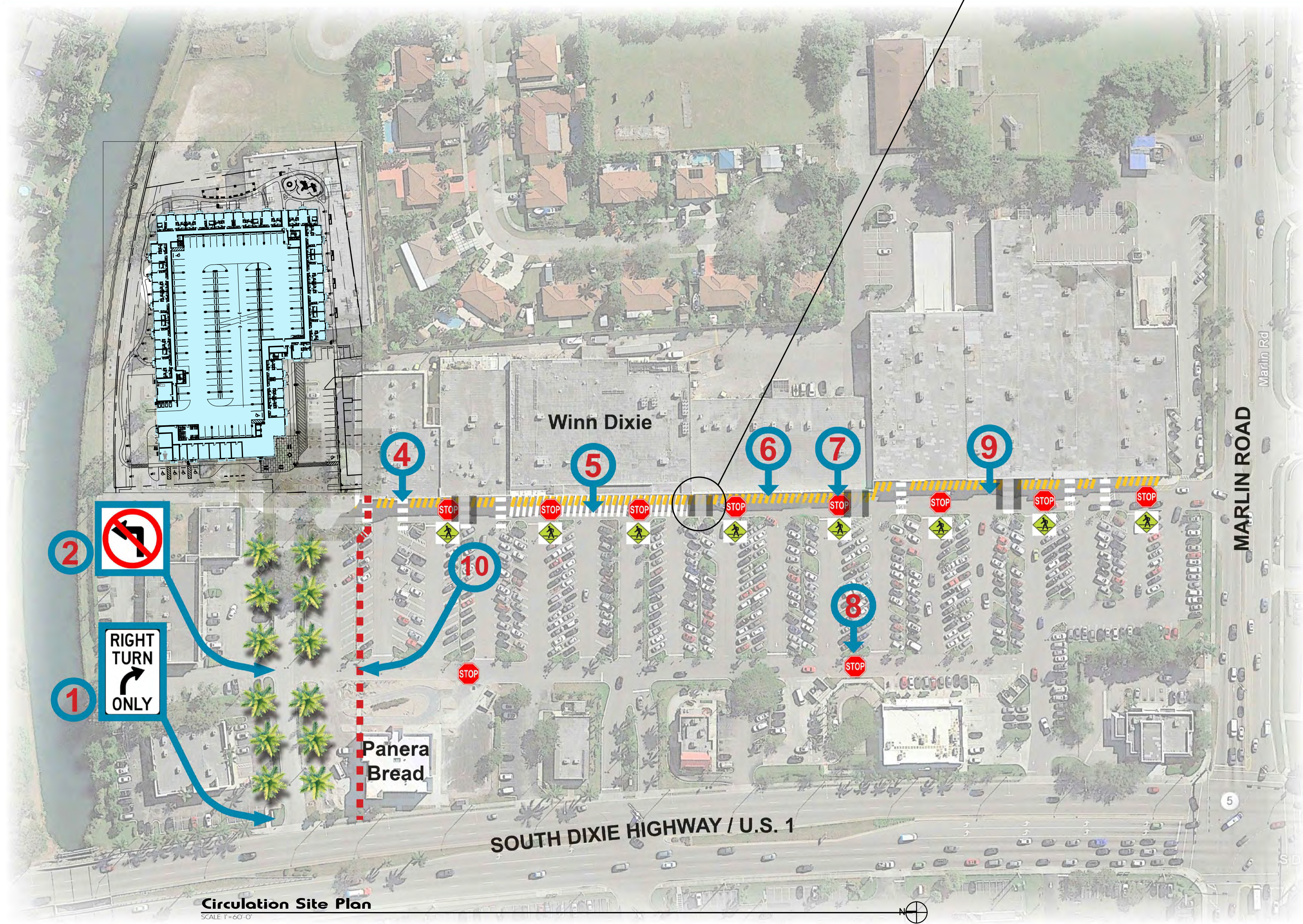
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Typical Speed Table



LEGEND



1. Right turn only from apartment drive aisle onto US-1



2. No Left Turn from Apartment Egress at Panera Bread



4. Introduce Crosswalks



5. Create pedestrian zone striping in front of all of Winn Dixie



6. Re-instate fire lane striping



7. Stop and Pedestrian Crossing signs are needed along the drive aisle closest to shopping center
FLUORESCENT CROSSWALK SIGNS



8. Stop Signs along internal North-South Collector



9. SPEED TABLE WITH THERMO PLASTIC LINES



10. Pedestrian Circulation to U.S. 1

NOTE: ALL LOCATION OF SIGNS AND SPEED TABLE TO BE DETERMINED AT PERMITTING

project info :

Point Royale
Apartments
Culter Bay, Florida

seal :

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TRAFFIC
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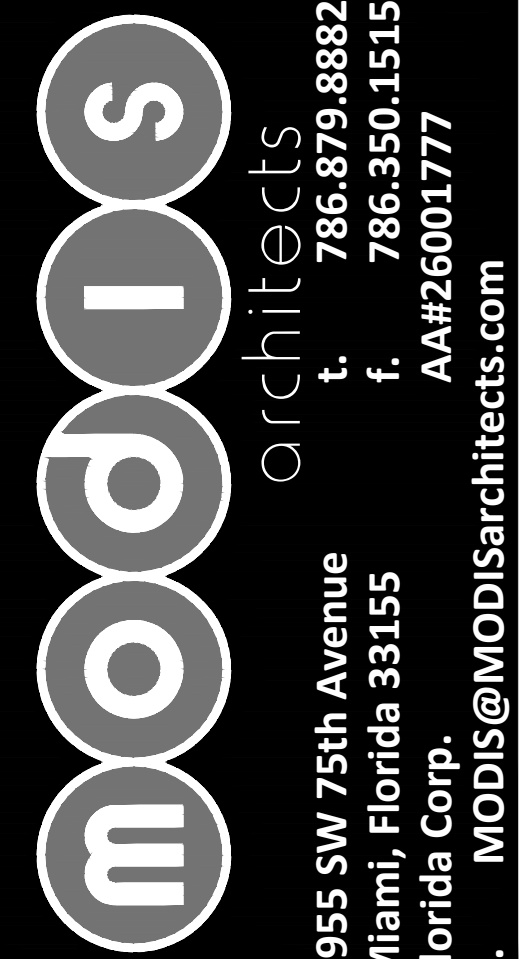
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SITE PLAN LEVEL 1

project number :

#17093

drawn by : **proj. manager**

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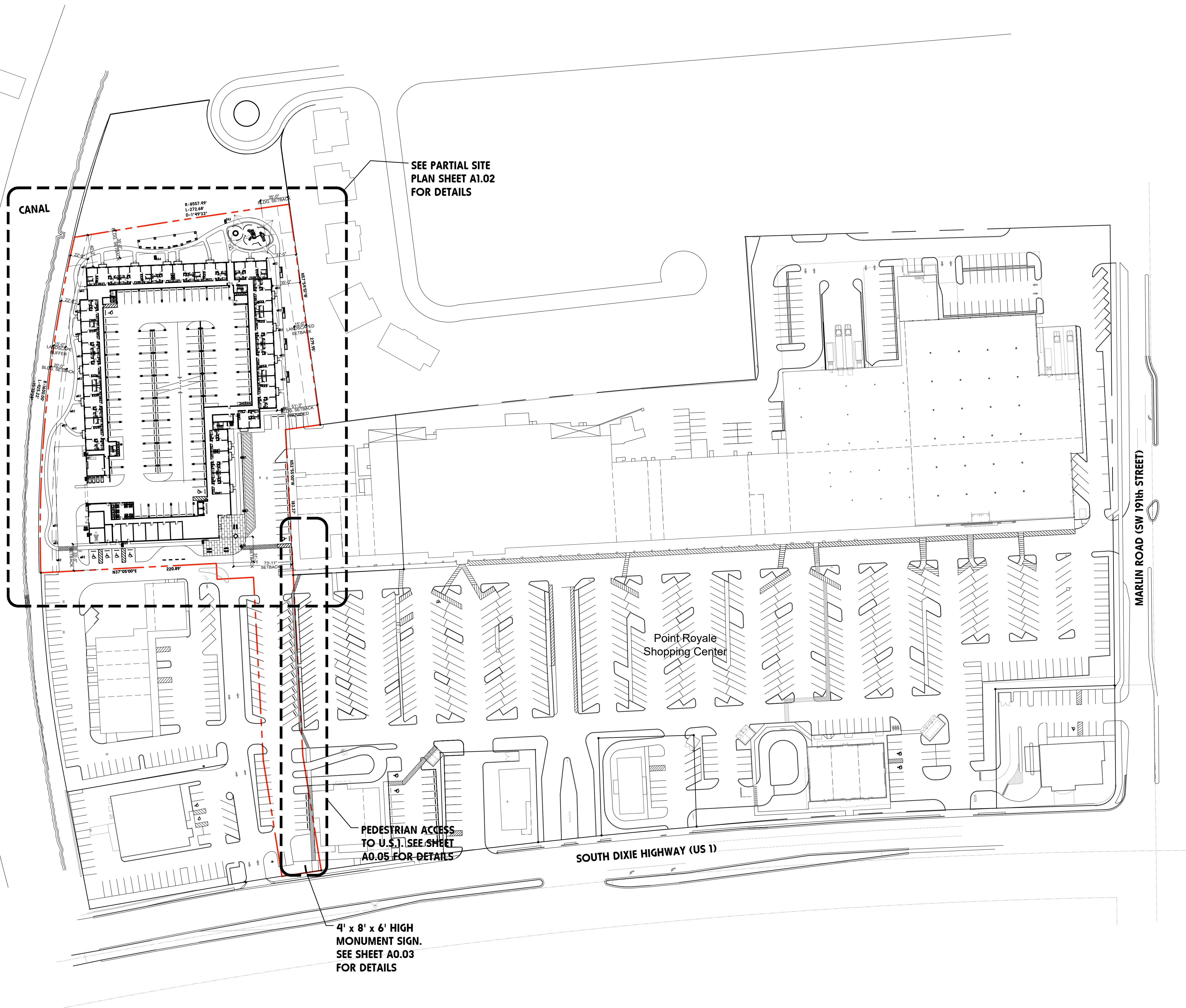
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Overall Site Plan

SCALE: 1" = 60'-0"

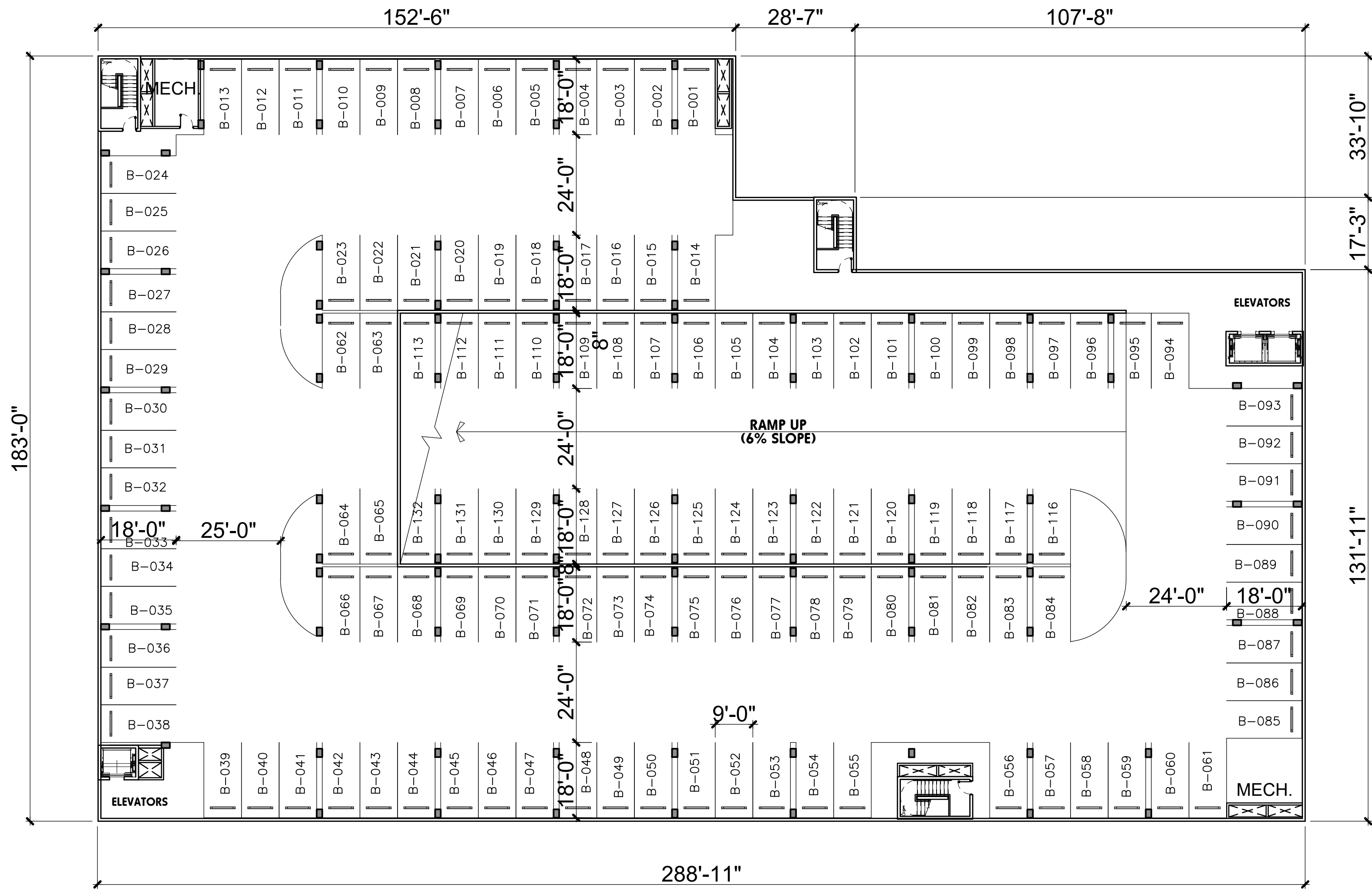


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Parking Provided				
	Standard	HC	EV (Electric Vehicle) / Hybrid Vehicle	Total
Outdoor Surface	0	4	0	4
Basement	134	0	0	134
Garage Level 1	106	2	18	126
Garage Level 2	94	2	0	96
	334	8	18	
Total Parking Provided			360 spaces	

Basement Level

SCALE: 1"=20'-0"



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Point Royale

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Culter Bay, Florida

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SITE PLAN

BASEMENT

LEVEL

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Apartments
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seal :

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revisions :

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SITE PLAN
LEVEL 1

project number :

#17093

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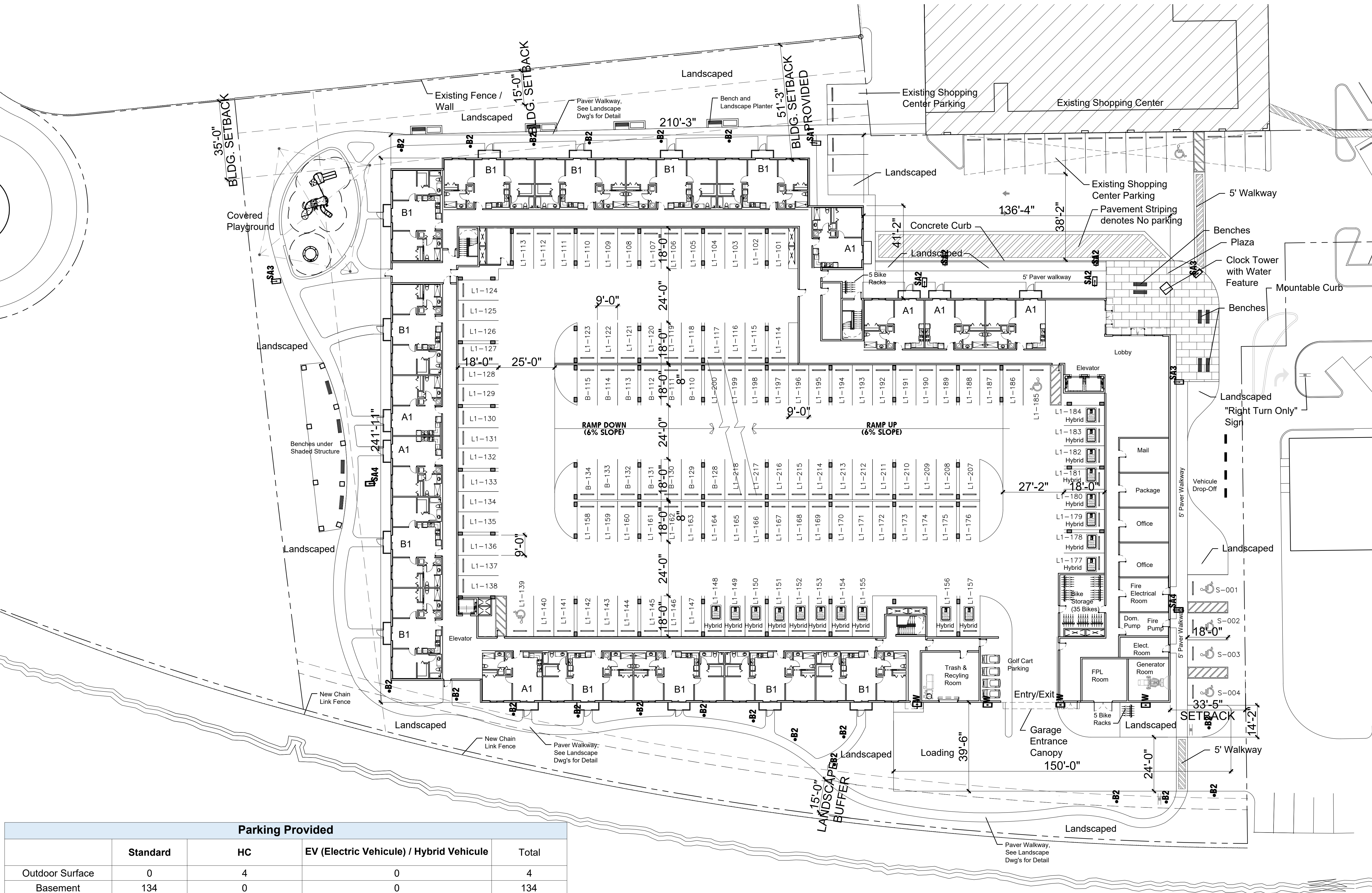
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sheet number :

A1.02



Parking Provided				
	Standard	HC	EV (Electric Vehicle) / Hybrid Vehicle	Total
Outdoor Surface	0	4	0	4
Basement	134	0	0	134
Garage Level 1	106	2	18	126
Garage Level 2	94	2	0	96
	334	8	18	
Total Parking Provided				360 spaces

Level 1
SCALE: 1"=20'-0"

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Point Royale

Apartments

Culter Bay, Florida

seal :

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LEVEL 2-3

project number : #17093

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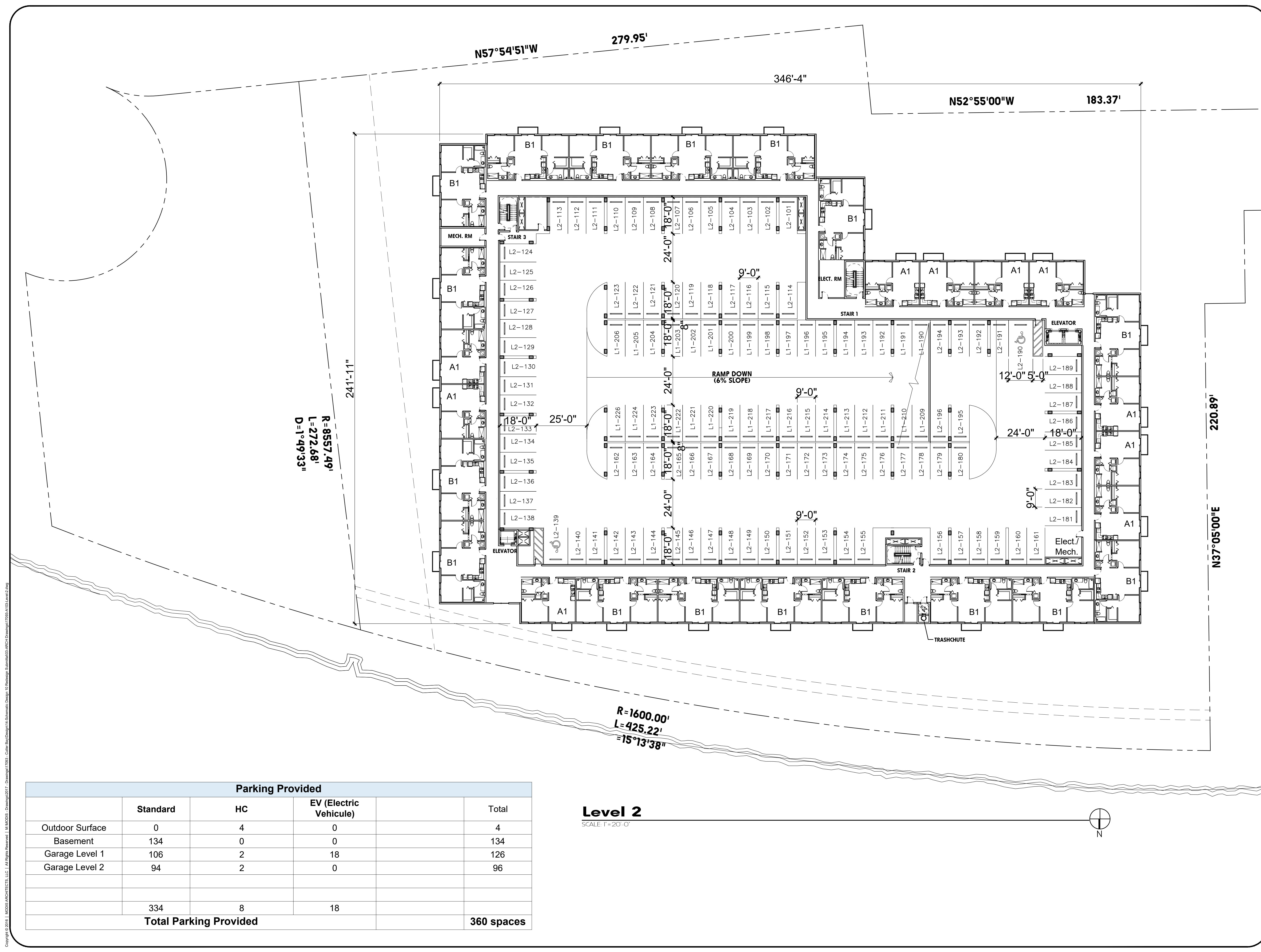
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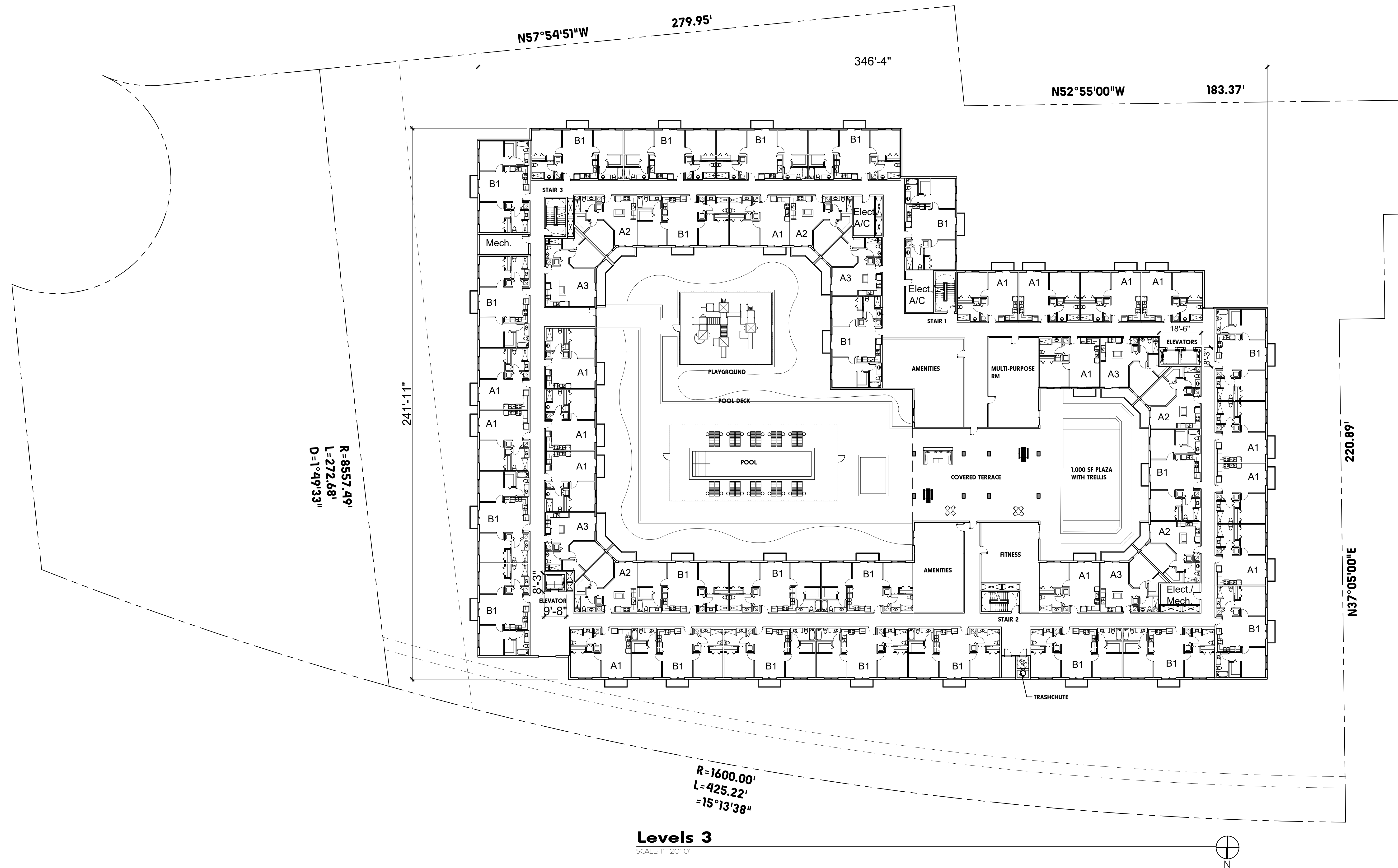
phase : Site Plan Review

sheet number : A1.03



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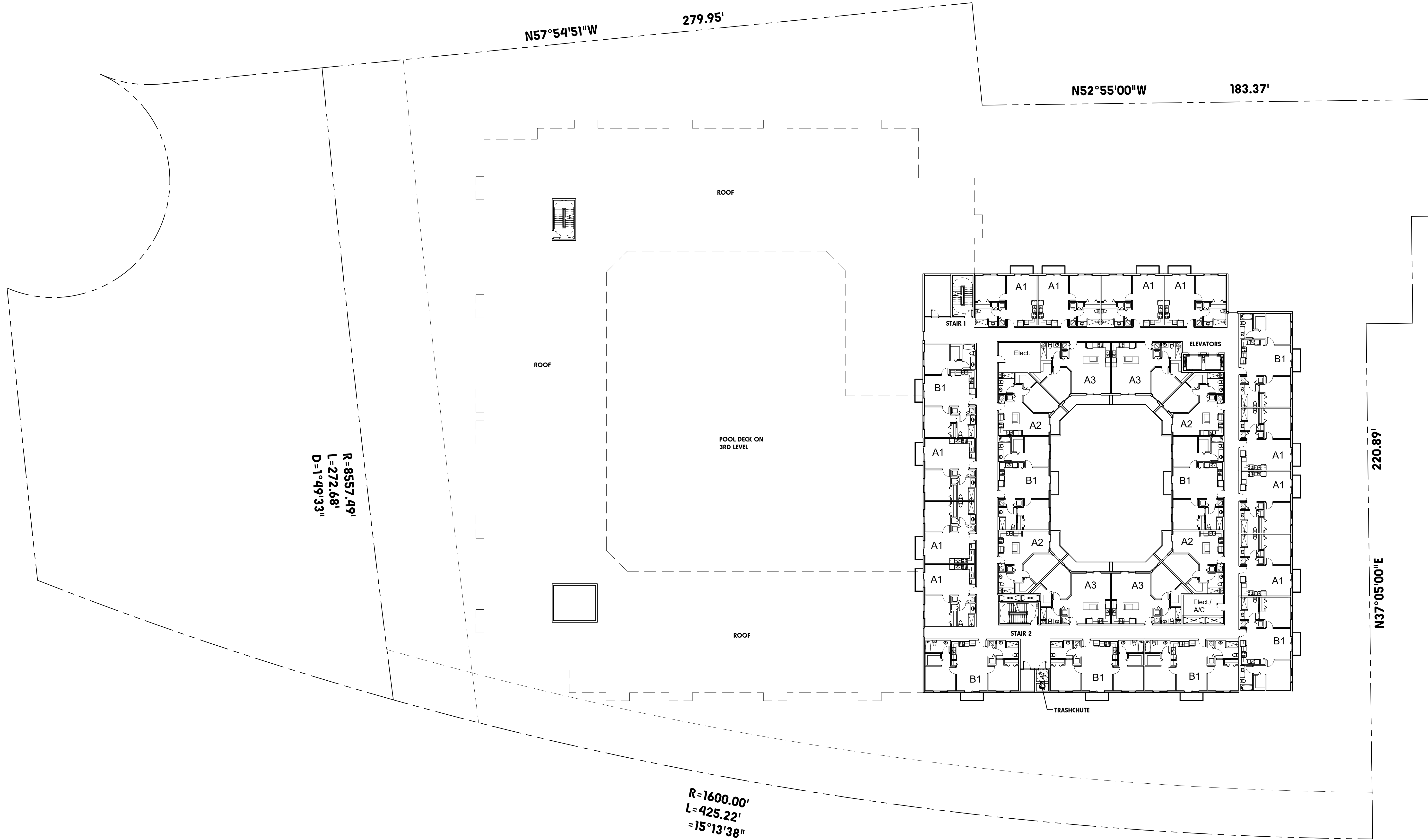
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**Point Royale
Apartments**
Culter Bay, Florida

seal :	<div style="border: 1px solid black; height: 150px;"></div>
	ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP FLORIDA REGISTERED ARCHITECT # AR 93259
revisions :	<div style="border: 1px solid black; height: 100px;"></div> <hr/> <hr/> <hr/> <hr/> <hr/>
Rev. 1	10/31/2019

drawing data :	
LEVEL 3	
project number :	
#17093	
drawn by :	proj. manager :
DRAWN BY	PM
drawing scale :	drawing date :
As Shown	10/25/2019
phase :	
Site Plan Review	
sheet number :	
A1.04	



Levels 4-7

SCALE: 1"=20'-0"



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AA#26001777

e. MODIS@MODISarchitects.com

project info :

Point Royale
Apartments
Culter Bay, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

Rev.	Date
Rev. 1	10/31/2019

drawing data :

LEVEL 4-7

project number : #17093

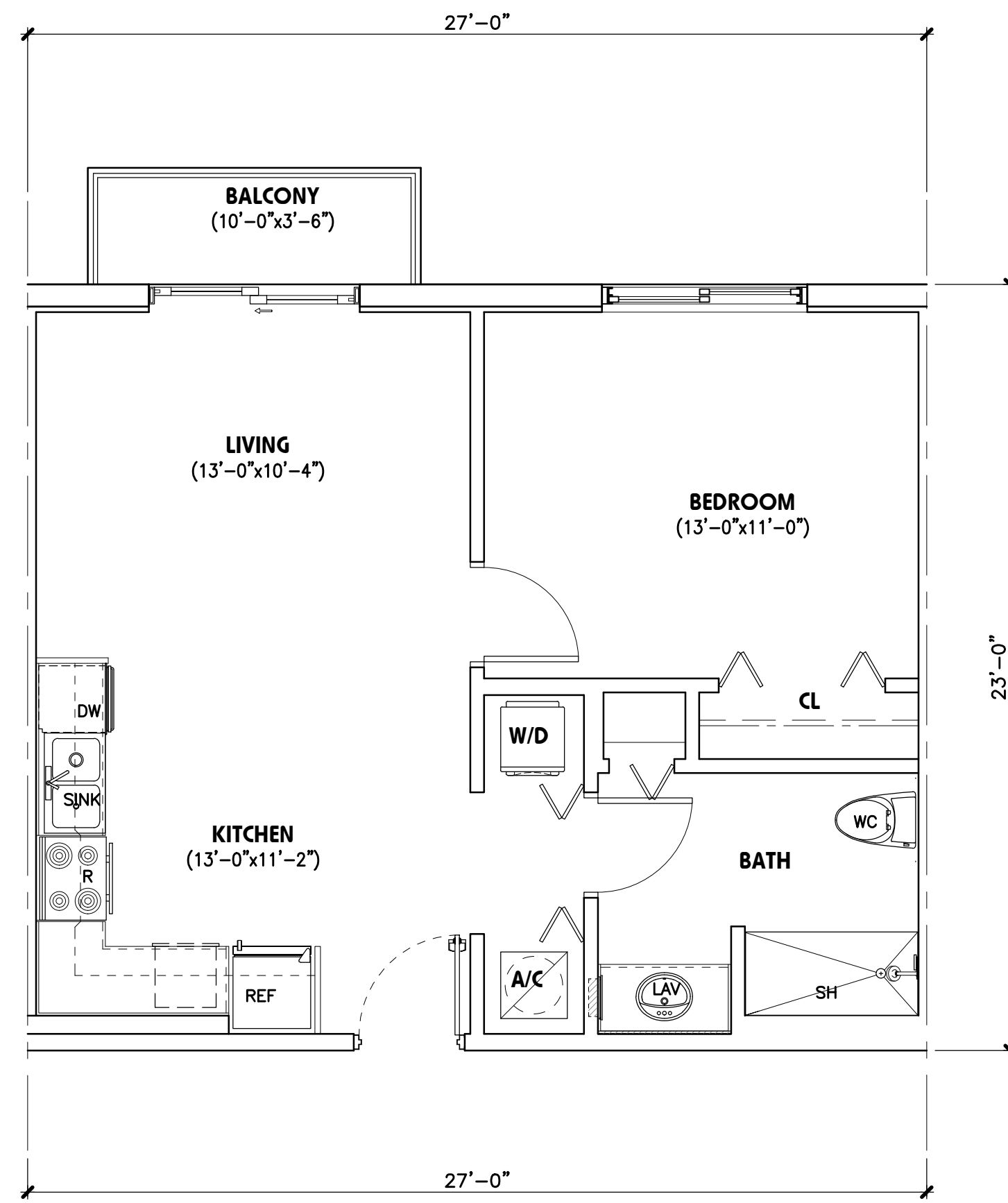
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DRAWN BY	PM
As Shown	10/25/2019

drawing date :

phase : Site Plan Review

sheet number : **A1.05**

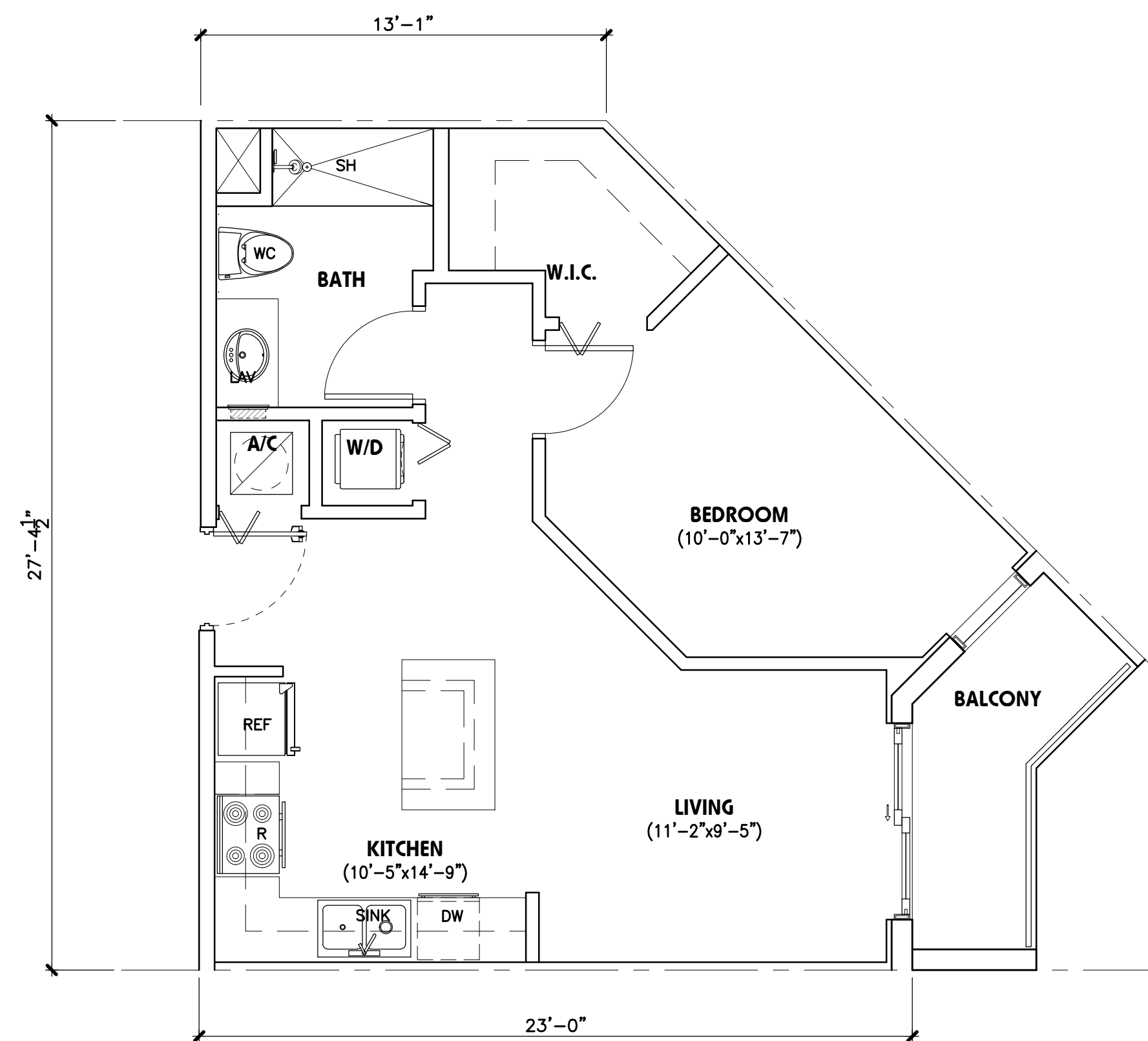


Unit A1

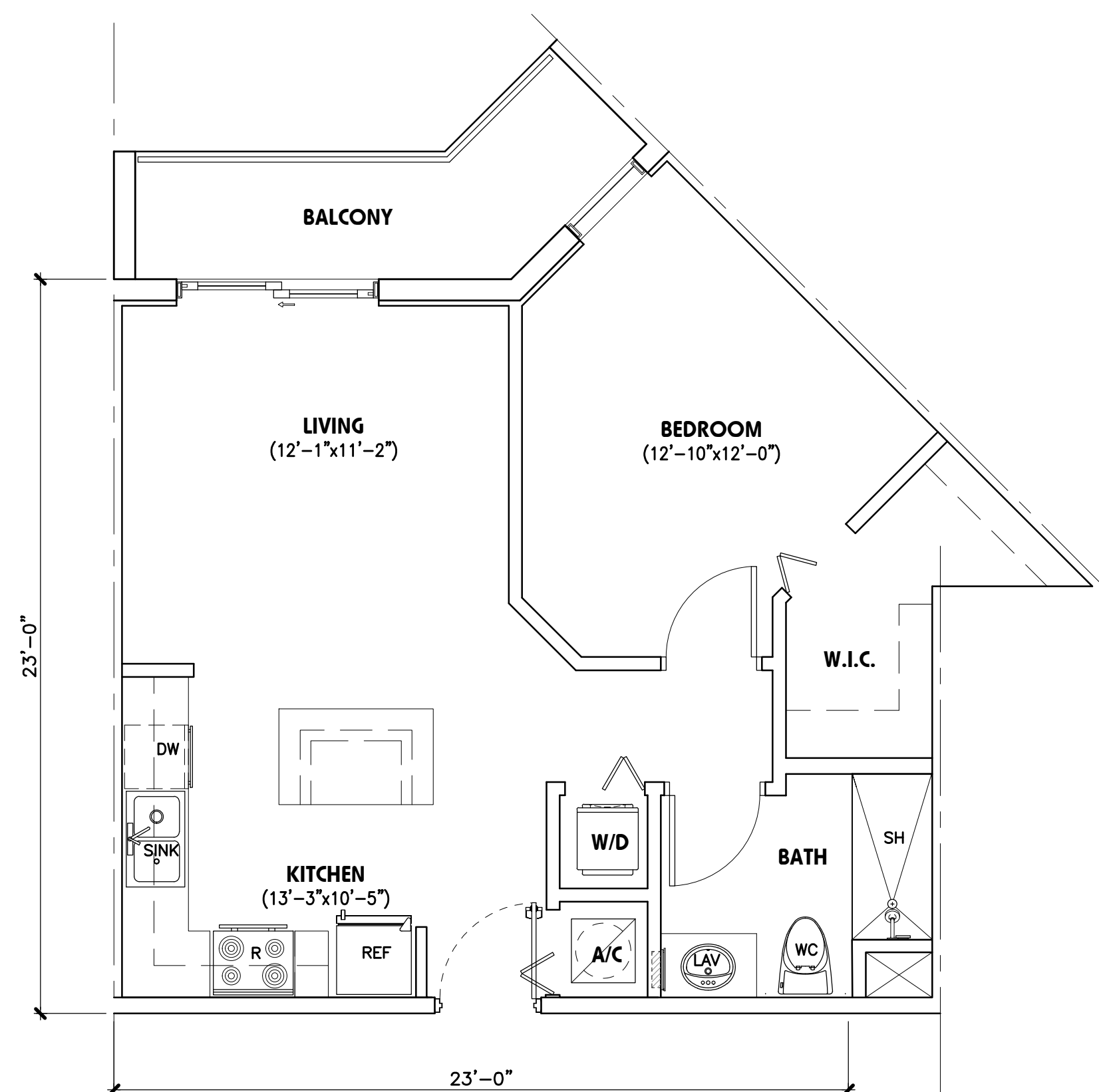
1-bd / 1-bath

SCALE: 1/4" = 1'-0"

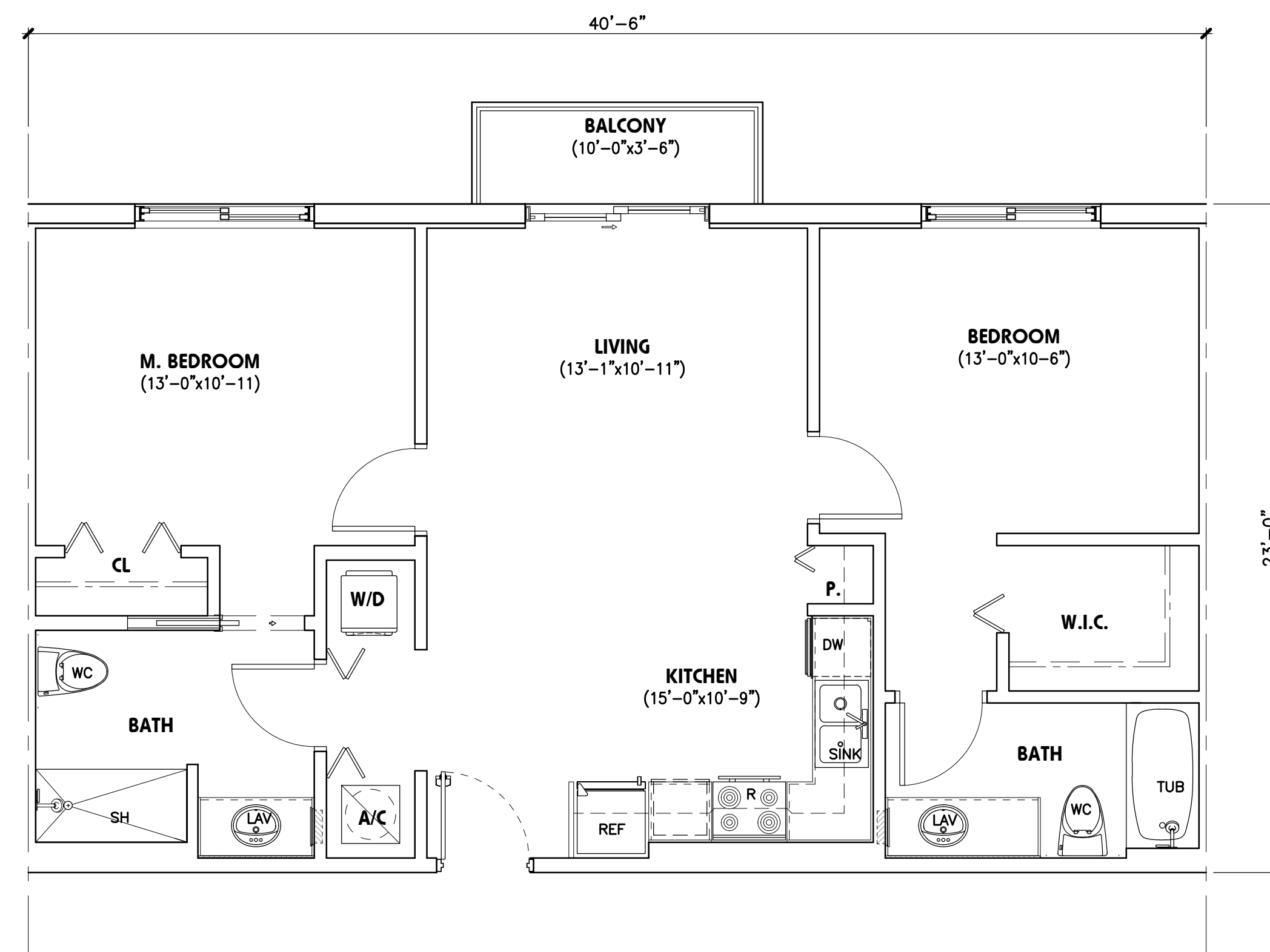
621 SF



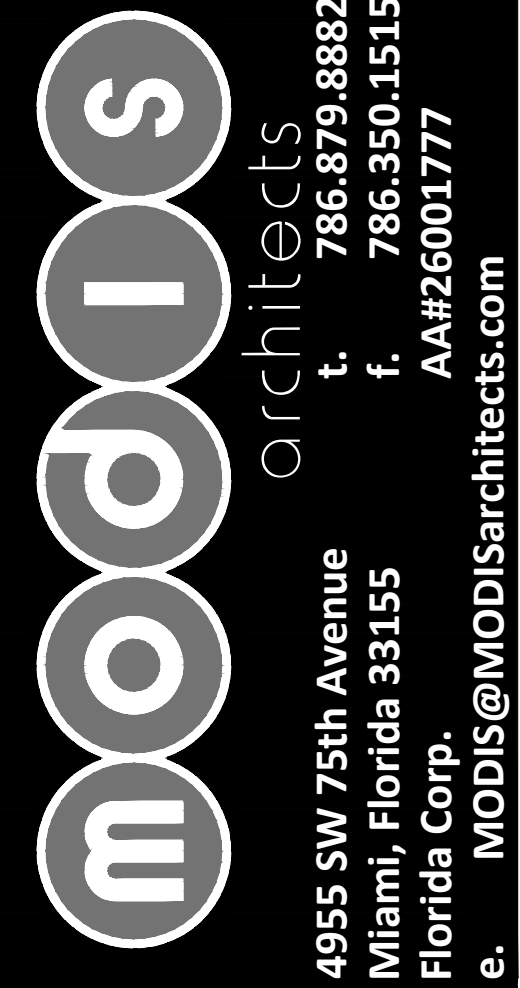
Unit A2 1-bd / 1-bath
 SCALE: 1/4" = 1'-0" 601 SF



Unit A3 1-bd / 1-bath
 SCALE: 1/4"=1'-0" 618 SF



Unit B1 2-bd / 2-bath
 SCALE: 1/4" = 1'-0" 928 SF



project info :

Point Royale

Apartments

Culter Bay, Florida

seal :

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revisions :

Rev. 1 10/31/2019

drawing data :

UNIT FLOOR PLANS

project number :

#17093

drawn by : proj. manager :

DRAWN BY

drawing scale : drawing date :

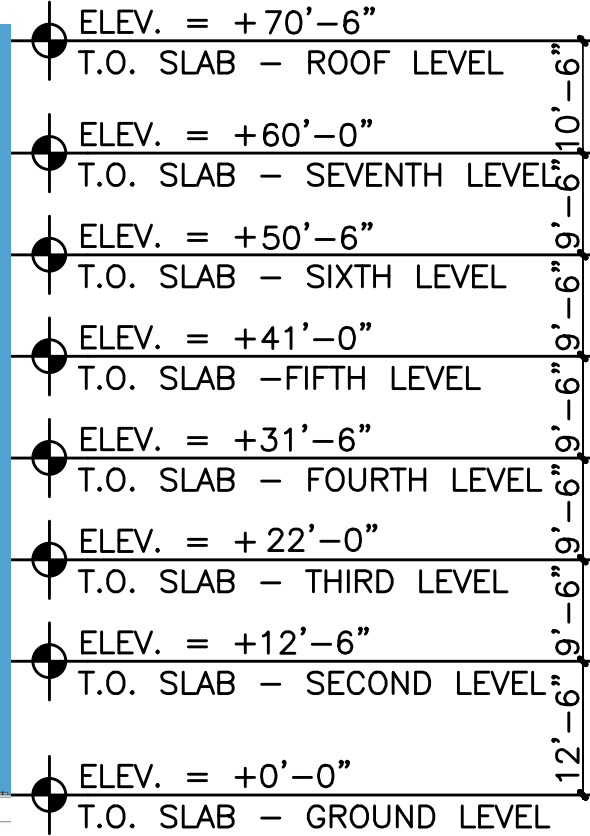
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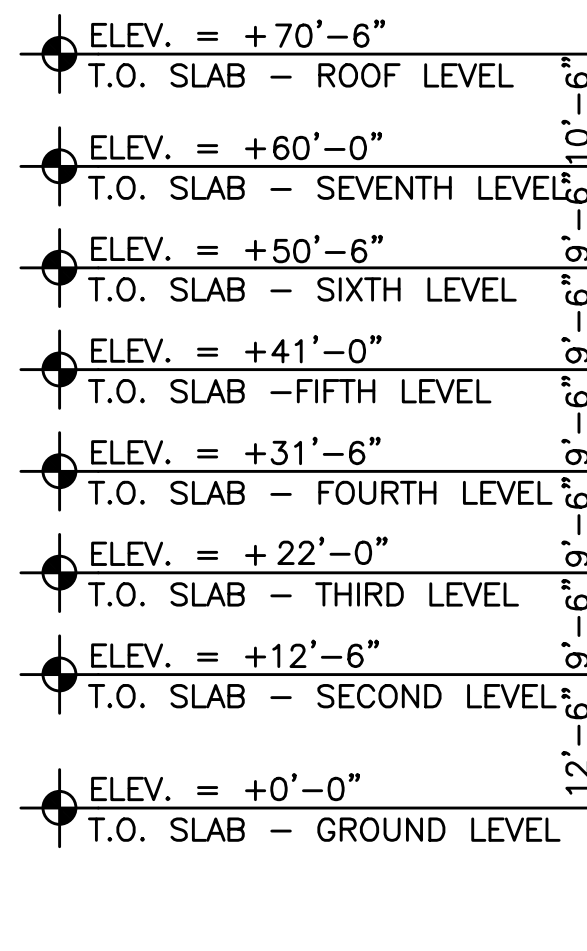
Site Plan Review

sheet number :

A1.06



NORTH ELEVATION



SOUTH ELEVATION

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Apartments
Culter Bay, Florida

seal :

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revisions :

Rev. 1 10/31/2019

drawing data :

PROPOSED ELEVATIONS

project number :

#17093

drawn by :

DRAWN BY

proj. manager :

PM

drawing scale :

As Shown

drawing date :

10/25/2019

phase :

Site Plan Review

sheet number :

A2.01





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POINT ROYALE

Apartments

Culter Bay, Florida

seal :

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FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

CONCEPTUAL
PROJECT
RENDERING

project number :
#17093

drawn by :

proj. manager :

DRAWN BY

PM

drawing scale :

drawing date :

As Shown

04/16/2019

phase :

Site Plan Review

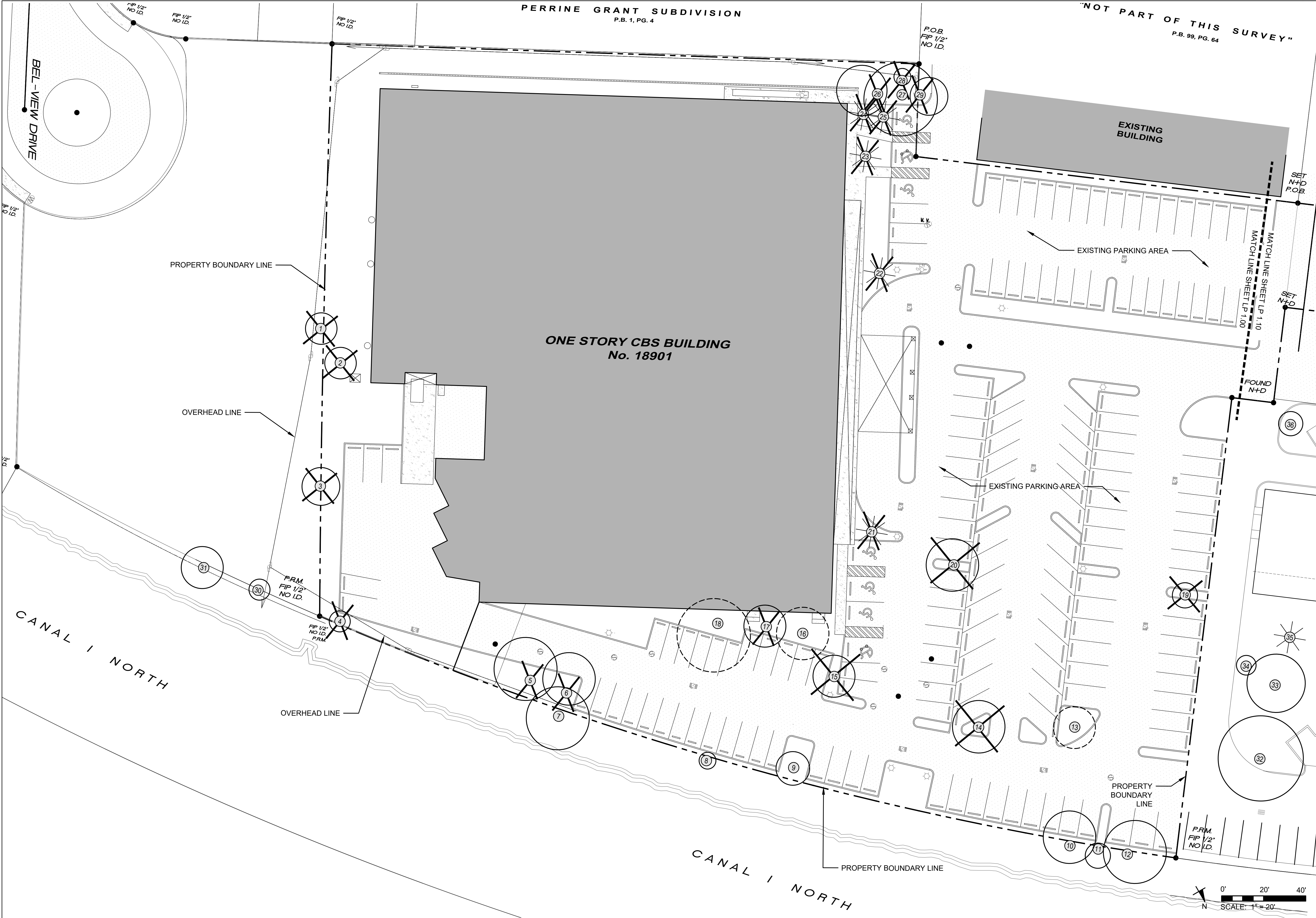
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U5_2019a_000001_0000 2019 page 1 of 1

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Attachment "B" (Page 46 of 64)

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PROJECT LOCATION:
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PROJECT CLIENT(S) / OWNER(S):
ACCAR LTD

PROFESSIONAL SEAL(S):

DOUGLAS THOMPSON, RLA
LA 6667063
LANDSCAPE DE, LLC

No.	DATE	DESCRIPTION
X 05/13/2019		BUILDING REVIEW
01 08/06/2019		COMMENT REVS
02 08/22/2019		COMMENT REVS
03 10/24/2019		ALT DESIGN
04 11/4/2019		ALT DESIGN REV
05 11/8/2019		ALT DESIGN REV

SHEET ISSUE / REVISION LOG

PROJECT #:	DRAWN BY: DT
DATE: 11/8/2019	SCALE: 1" = 20'

Sheet Title:

**TREE
DISPOSITION
PLAN**

Sheet No:

L-1.00

NOTE: SEE SHEET L-5.50 FOR TREE DISPOSITION LIST

SYMBOL LEGEND

EXISTING TREE TO REMAIN

TREE TO BE RELOCATED

TREE TO BE REMOVED

PALM TO BE REMOVED

PALM TO BE RELOCATED



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PROFESSIONAL SEAL(S):

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LA 5667063
LANDSCAPE DE, LLC

No.	DATE	DESCRIPTION
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01	08/06/2019	COMMENT REVS
02	08/22/2019	COMMENT REVS
03	10/24/2019	ALT DESIGN
04	11/4/2019	ALT DESIGN REV
05	11/8/2019	ALT DESIGN REV

SHEET ISSUE / REVISION LOG

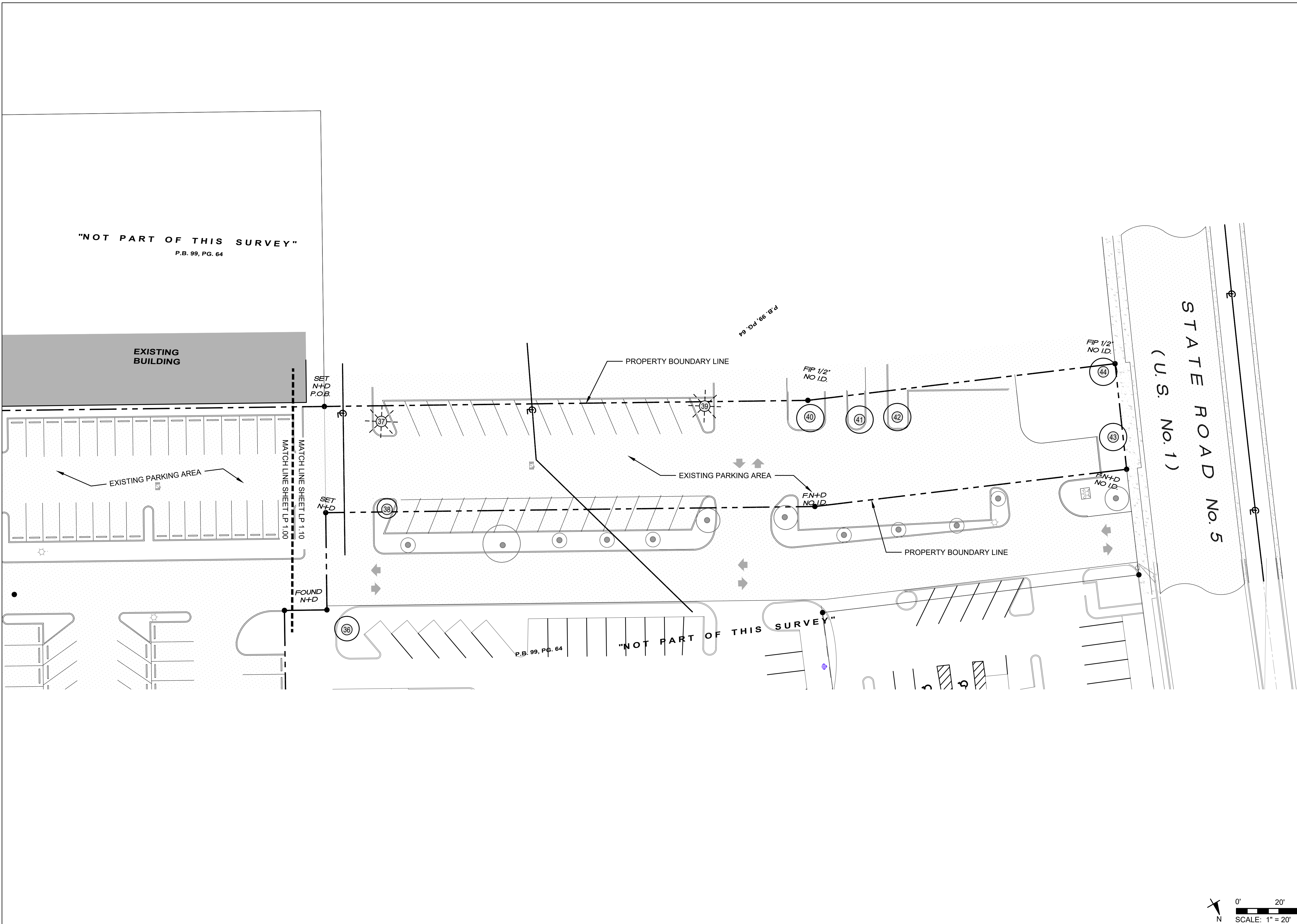
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DATE: 11/8/2019	SCALE: 1" = 20'

Sheet Title:

**TREE
DISPOSITION
PLAN**

Sheet No:

L-1.10



NOTE: SEE SHEET L-5.50 FOR TREE DISPOSITION LIST

SYMBOL LEGEND

	EXISTING TREE TO REMAIN		TREE TO BE RELOCATED		TREE TO BE REMOVED		PALM TO BE REMOVED		PALM TO BE RELOCATED		EXISTING TREE OFF SITE
--	-------------------------	--	----------------------	--	--------------------	--	--------------------	--	----------------------	--	------------------------

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05	11/4/2019	ALT DESIGN REV
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SHEET ISSUE / REVISION LOG

PROJECT #: DRAWN BY
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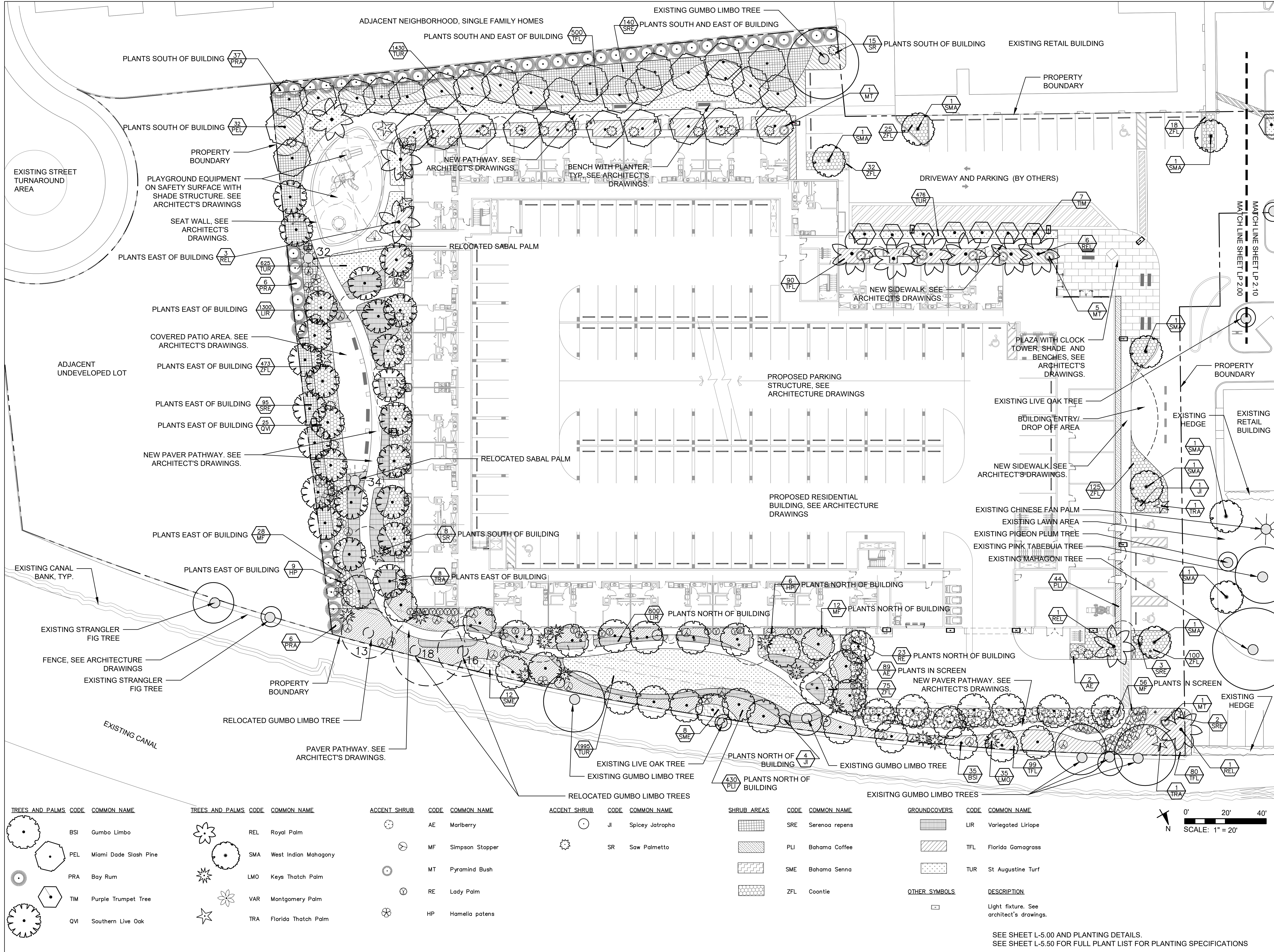
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Sheet Title:

PLANTING PLAN

Sheet No:

L-2.00



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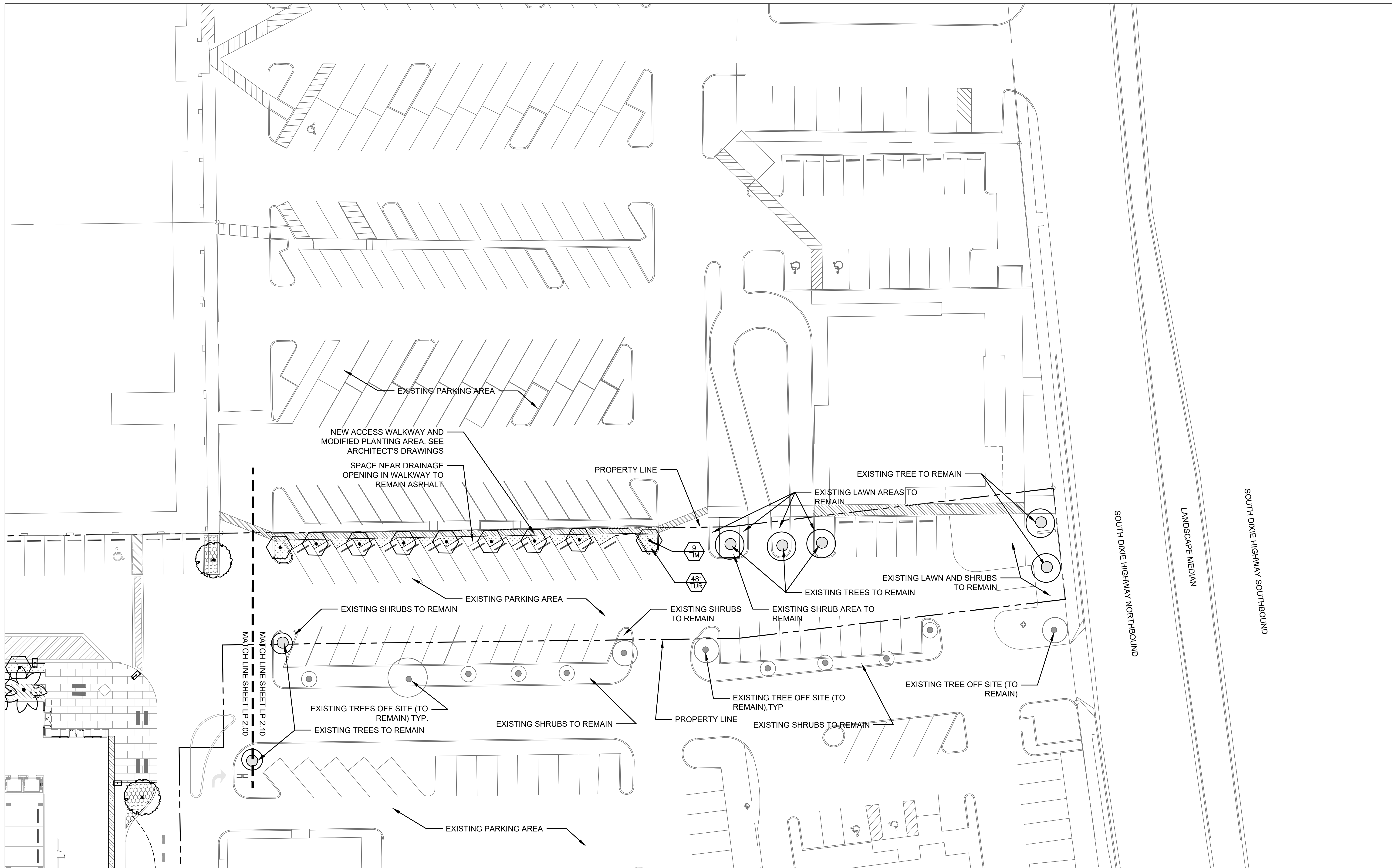
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Sheet Title:






PLANTING PLAN






Sheet No:



L-2.10










TREES AND PALMS	CODE	COMMON NAME
	BSI	Gumbo Limbo
	PEL	Miami Dade Slash Pine
	PRA	Bay Rum
	TIM	Purple Trumpet Tree
	QVI	Southern Live Oak

TREES AND PALMS	CODE	COMMON NAME
	REL	Royal Palm
	SMA	West Indian Mahogany
	LMO	Keys Thatch Palm
	VAR	Montgomery Palm
	TRA	Florida Thatch Palm

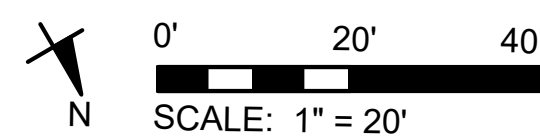
<u>ACCENT SHRUB</u>	<u>CODE</u>	<u>COMMON NAME</u>
	AE	Mariberry
	MF	Simpson Stopper
	MT	Pyramind Bush
	RE	Lady Palm
	HP	Hamelia patens

<u>ACCENT SHRUB</u>	<u>CODE</u>	<u>COMMON NAME</u>
	Jl	Spicey Jatropa
	SR	Saw Palmetto

SHRUB AREAS	CODE	COMMON NAME
	SRE	Serenoa repens
	PLI	Bahama Coffee
	SME	Bahama Senna
	ZFL	Coontie

<u>GROUNDCOVERS</u>	<u>CODE</u>	<u>COMMON NAME</u>
	LIR	Variegated Liriope
	TFL	Florida Gamagrass
	TUR	St Augustine Turf

<u>OTHER SYMBOLS</u>	<u>DESCRIPTION</u>
	Light fixture. See architect's drawings.



SEE SHEET L-5.00 FOR FULL PLANT LIST AND PLANTING DETAILS.
SEE SHEET L-5.50 FOR PLANTING SPECIFICATIONS



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PROFESSIONAL SEAL(S):

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LA 6667063
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05/13/2019	BUILDING REVIEW	
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03	10/24/2019	ALT DESIGN
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05	11/8/2019	ALT DESIGN REV

SHEET ISSUE / REVISION LOG

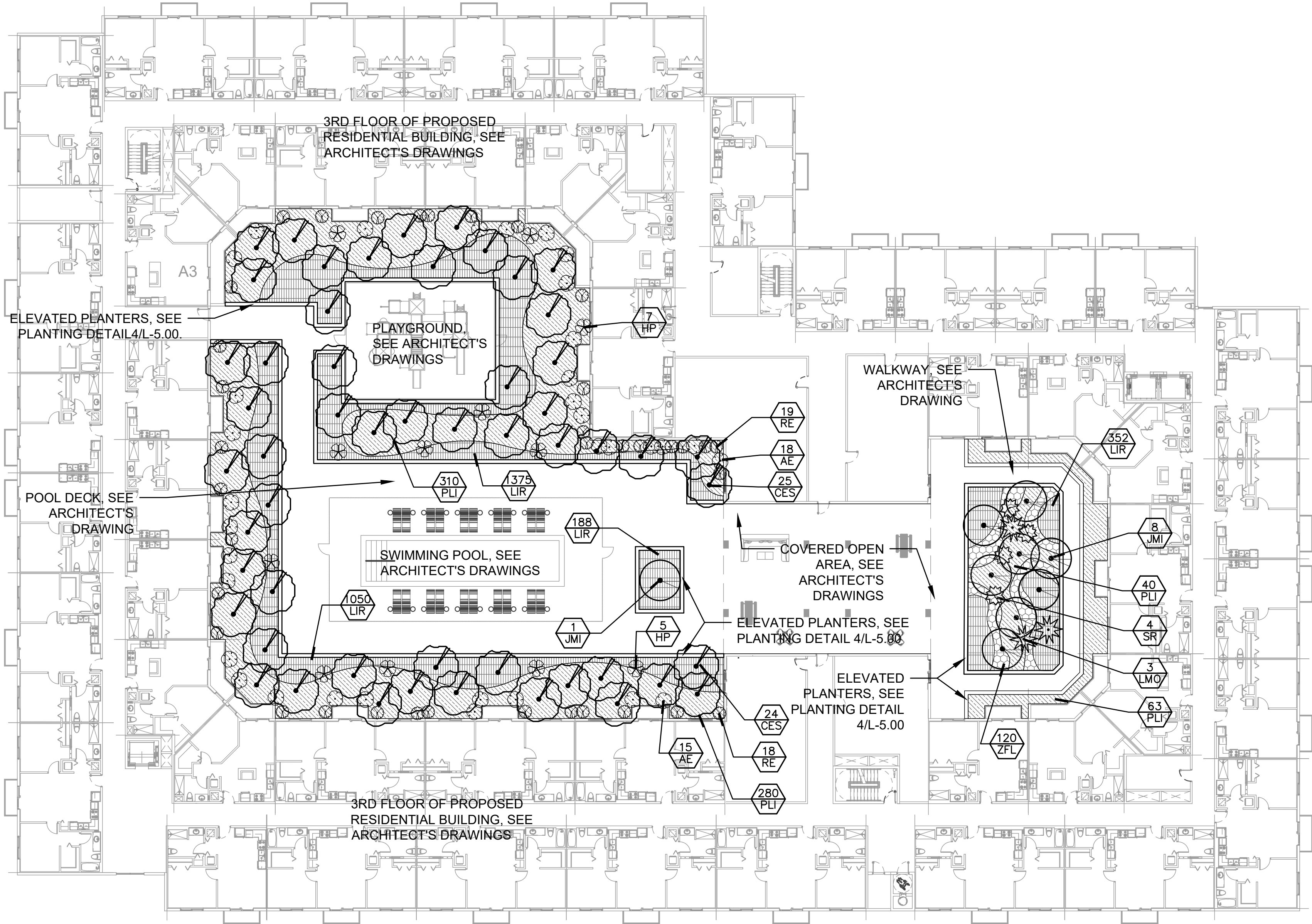
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DT
DATE: SCALE:
11/8/2019 1" = 20'

Sheet Title:

PLANTING PLAN

Sheet No:

L-2.30



TREES AND PALMS CODE COMMON NAME

CES	Silver Buttonwood
JMI	Jacaranda Tree
LMO	Keys Thatch Palm

ACCENT SHRUB CODE COMMON NAME

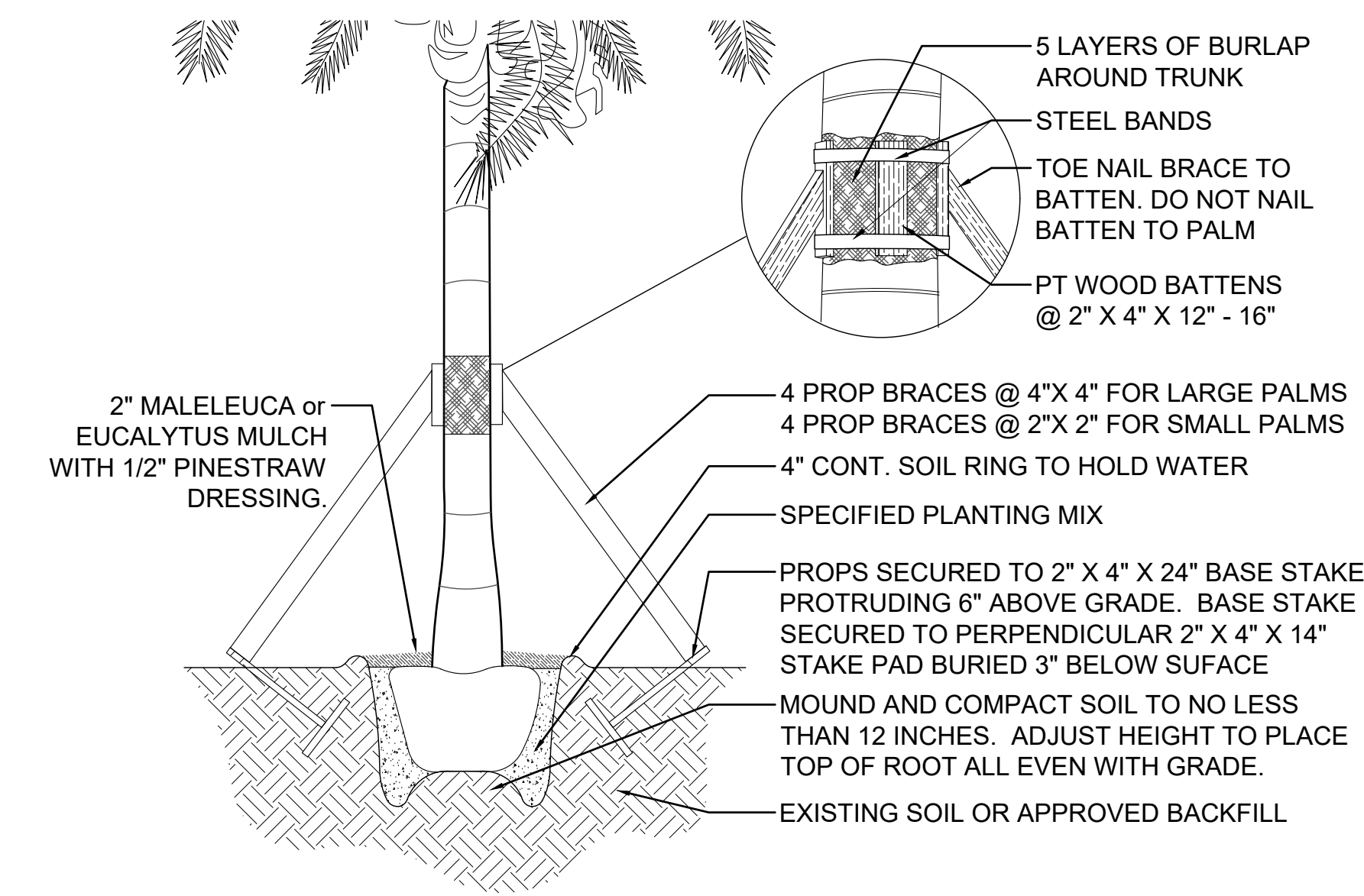
AE	Marlberry
RE	Lady Palm
HP	Hamelia patens
SR	Serenoa repens

SHRUB AREAS CODE COMMON NAME

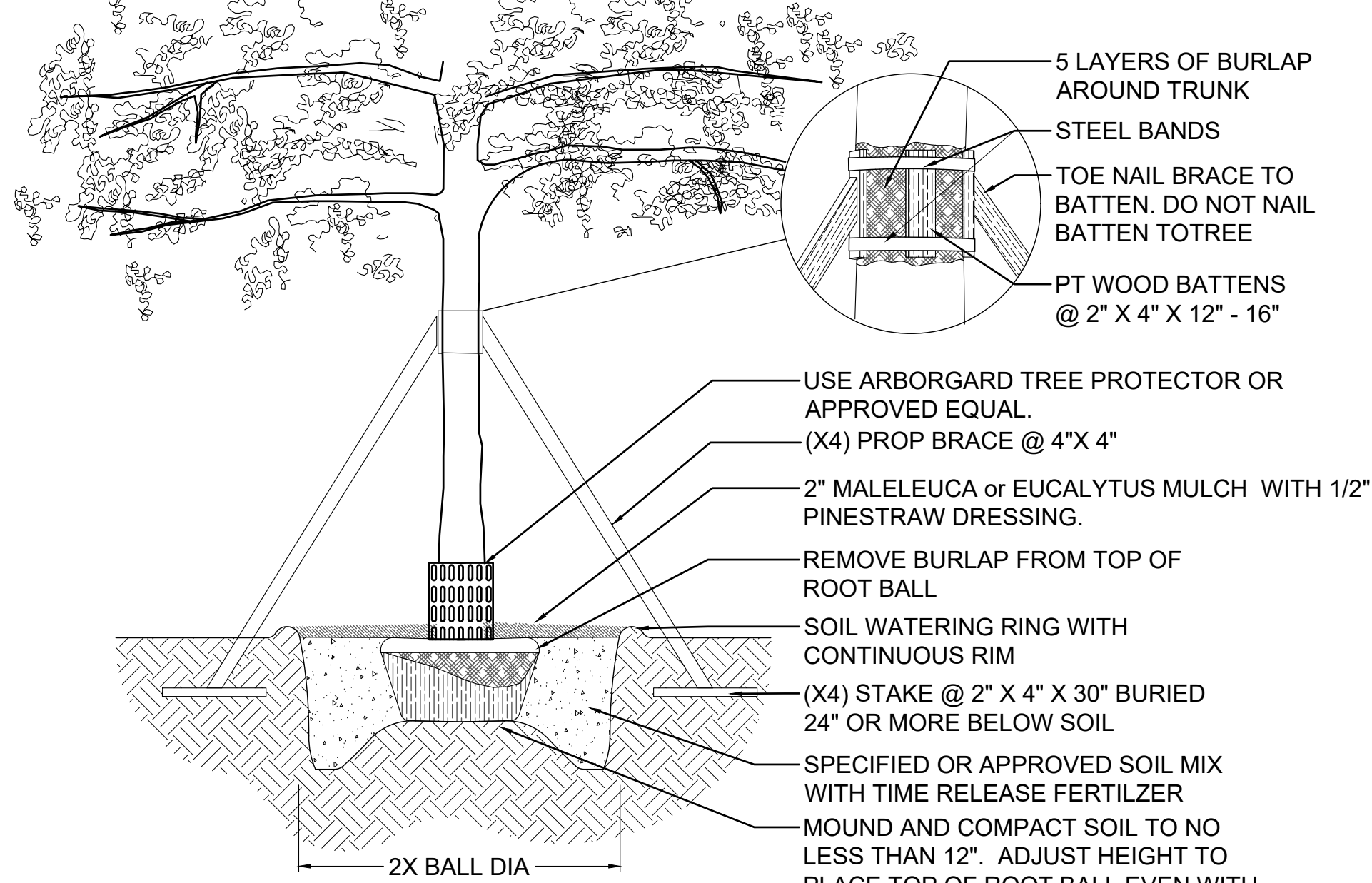
PLI	Bahama Coffee
ZFL	Coontie
LIR	Variegated Liriope
NEX	Boston Fern

GROUND COVERS CODE COMMON NAME

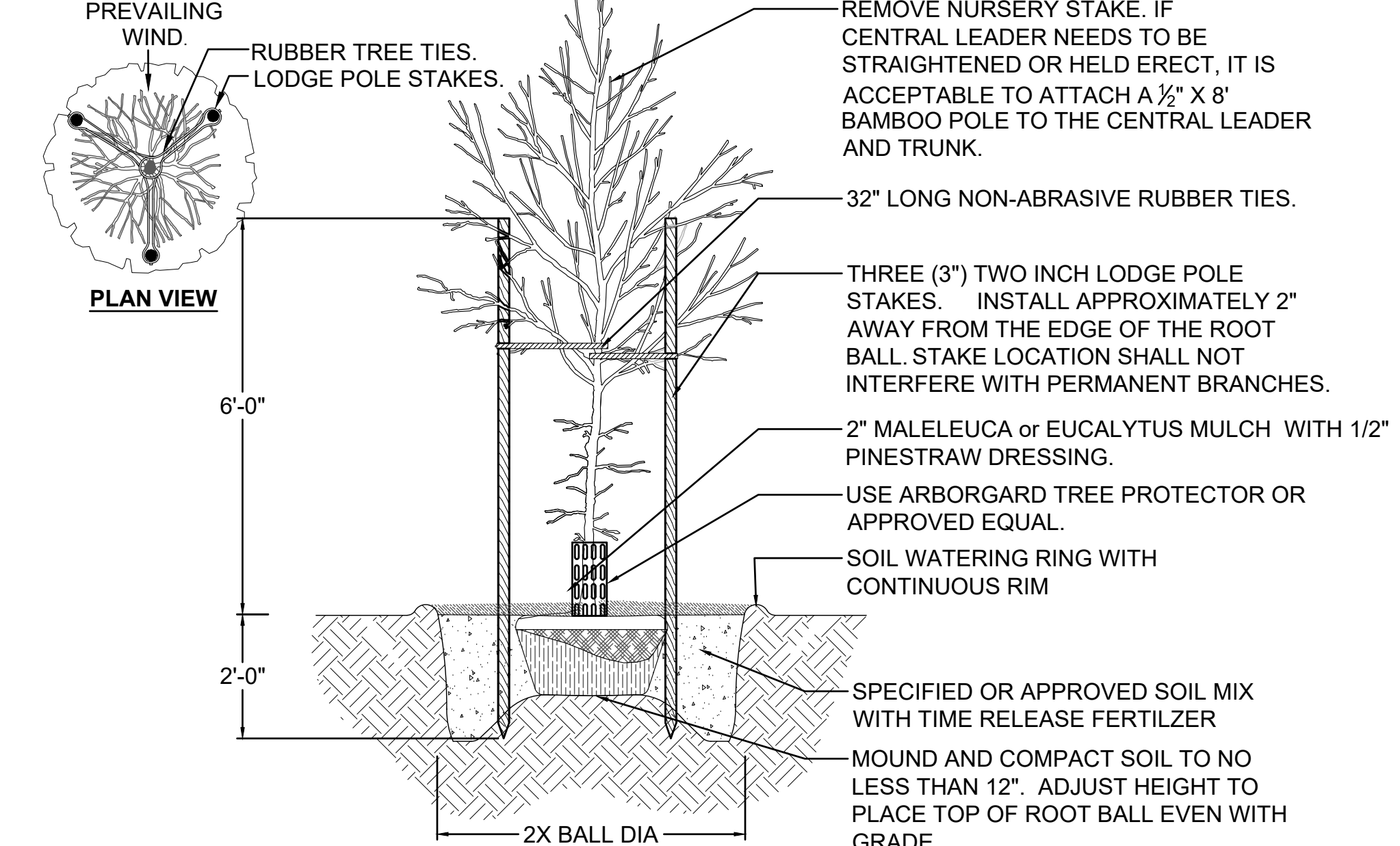
SEE SHEET L-5.00 AND PLANTING DETAILS.
SEE SHEET L-5.50 FOR FULL PLANT LIST FOR PLANTING SPECIFICATIONS



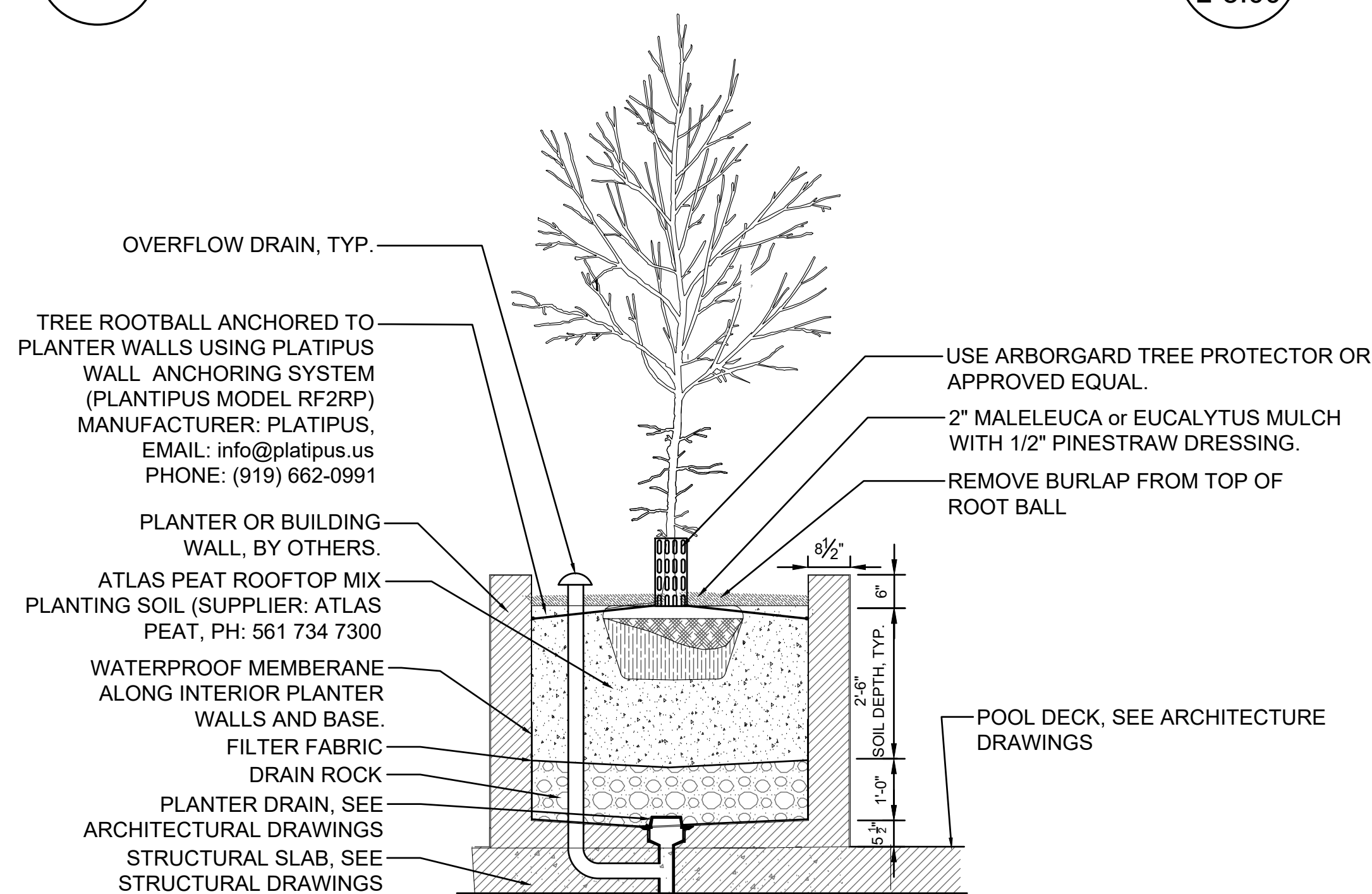
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L-5.00 NTS



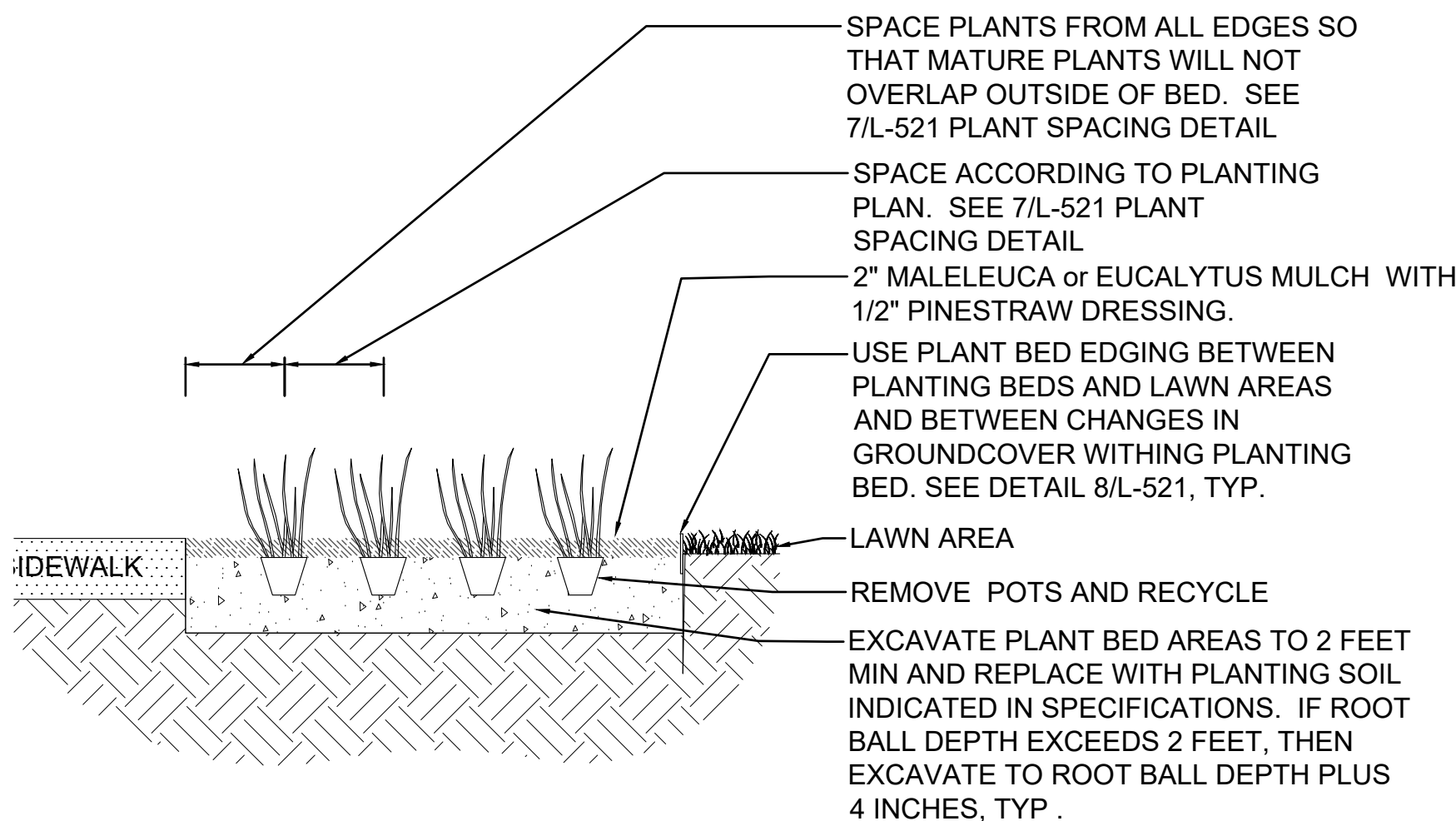
2 LARGE SIZE TREE PLANTING DETAIL
L-5.00 NTS



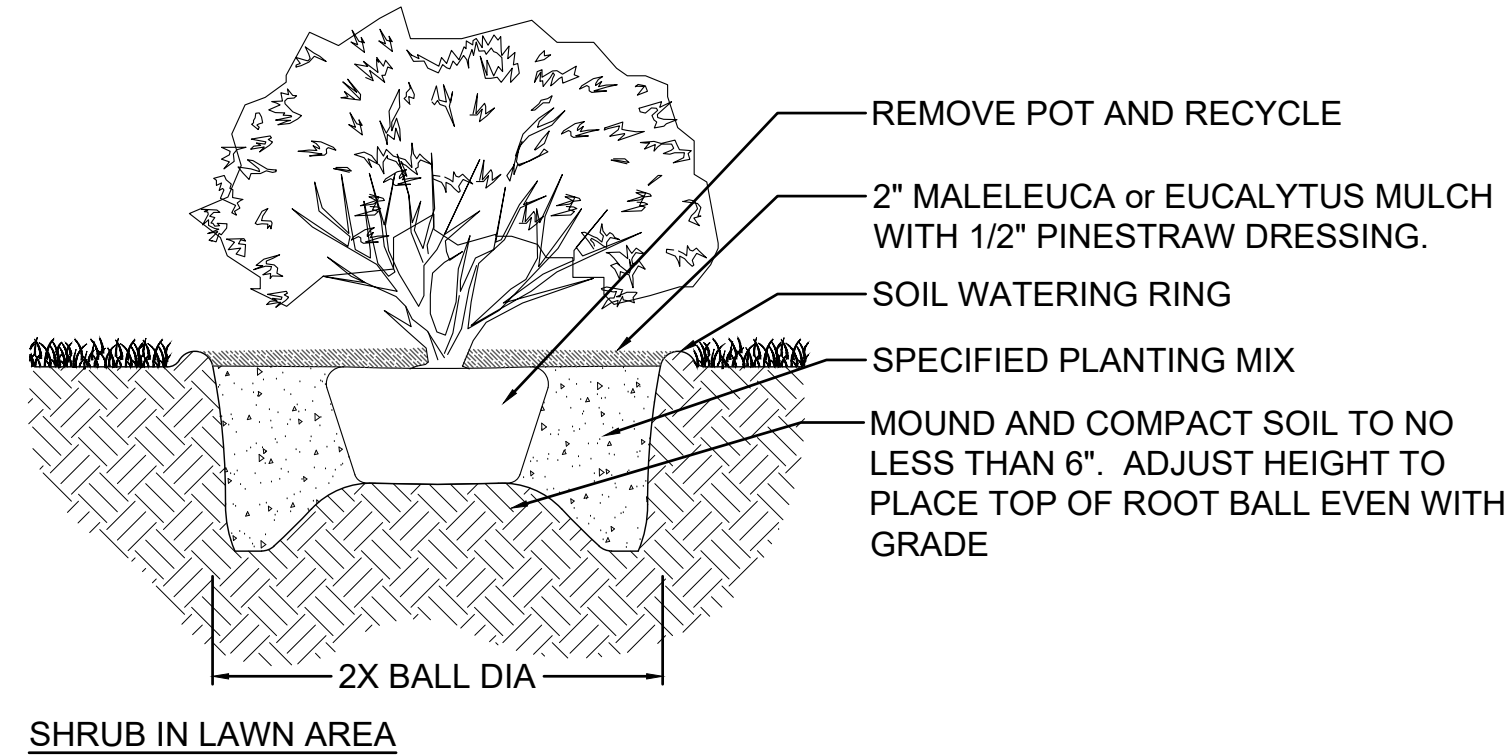
3 SMALL TO MEDIUM SIZE TREE PLANTING DETAIL
L-5.00 NTS



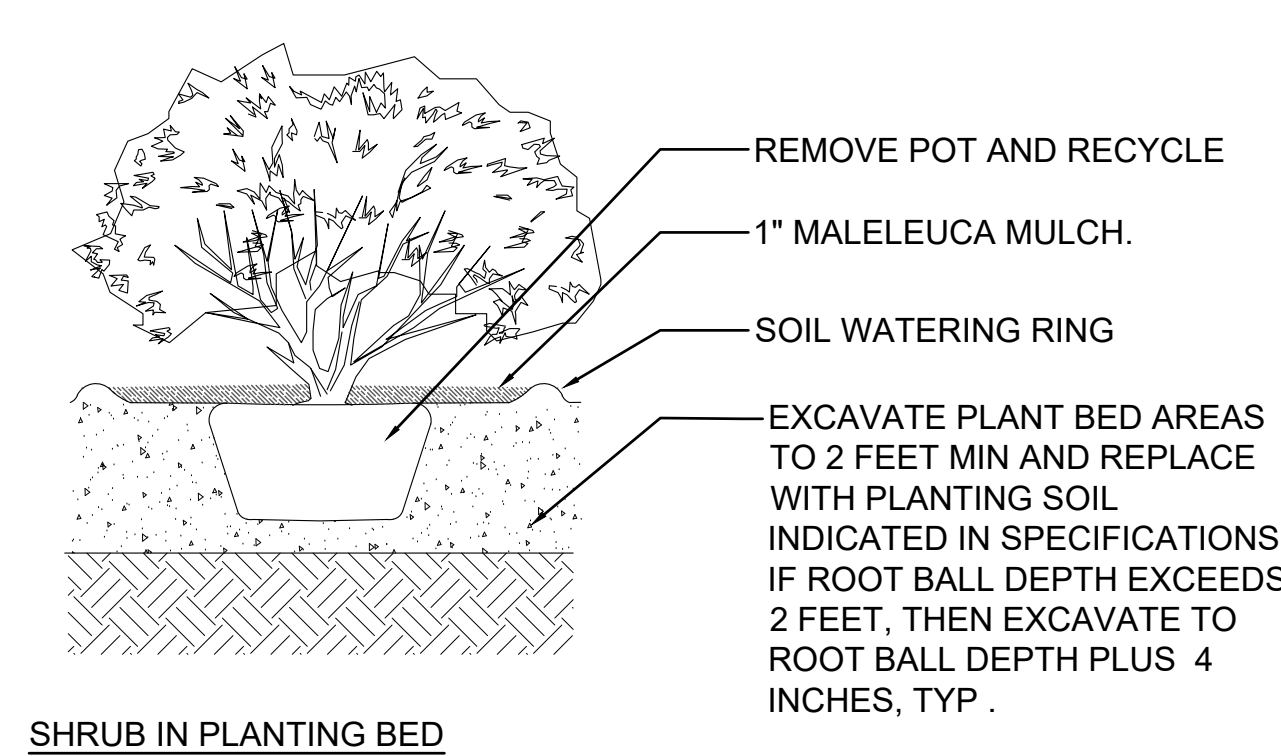
4 TREE PLANTING ON STRUCTURE DETAIL, TYP.
L-5.00 NTS



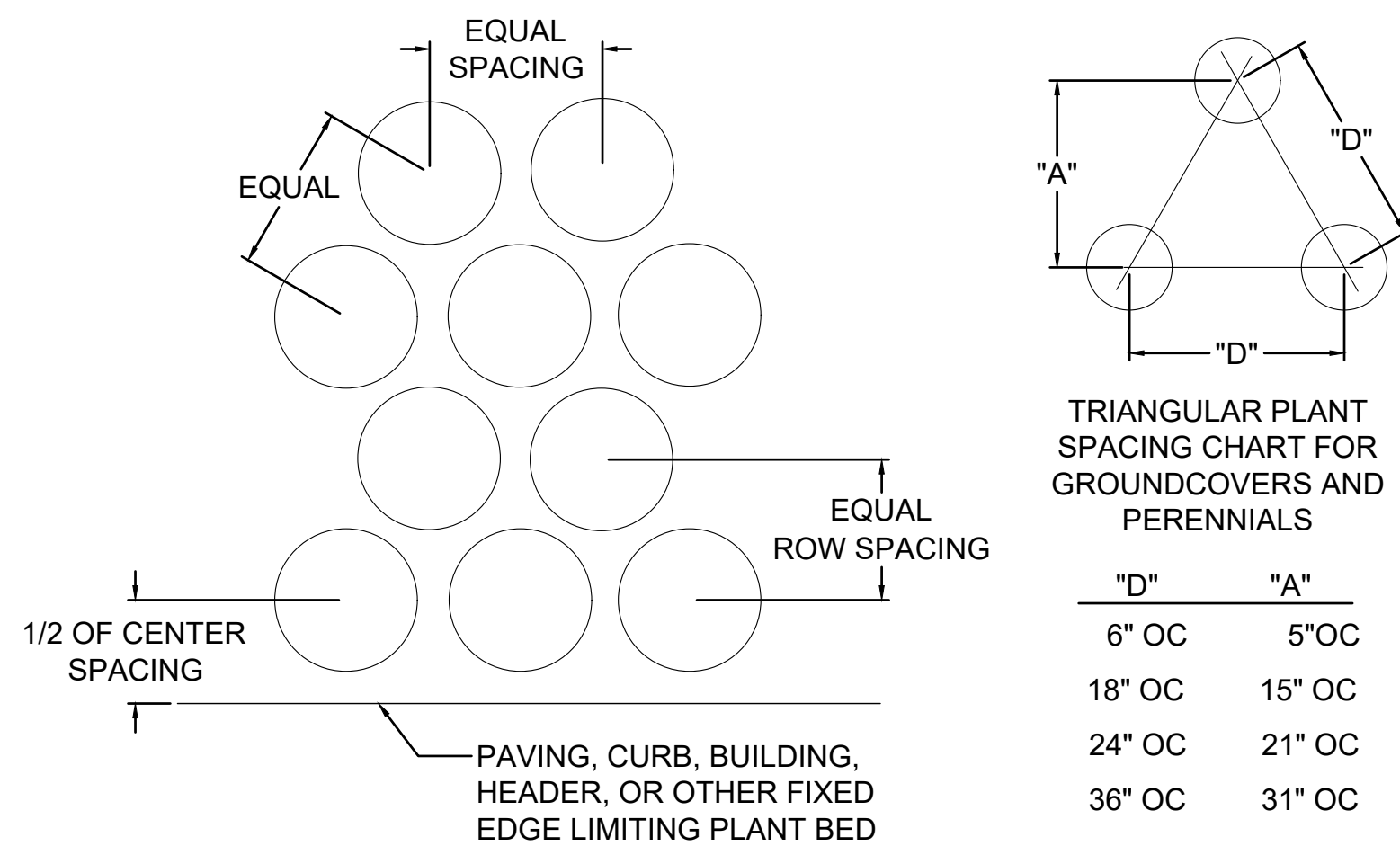
7 GROUND COVER PLANTING DETAIL
L-5.00 NTS



8 SHRUB PLANTING DETAIL
L-5.00 NTS



6 PLANT BED EDGING DETAIL
L-5.00 NTS



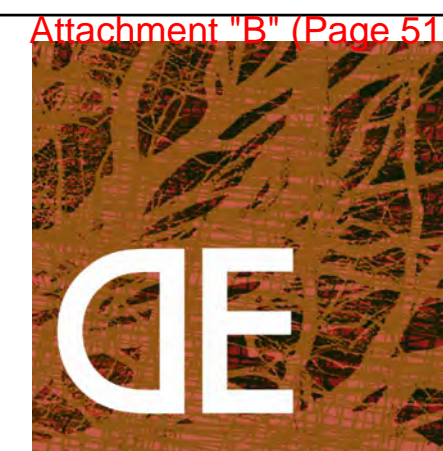
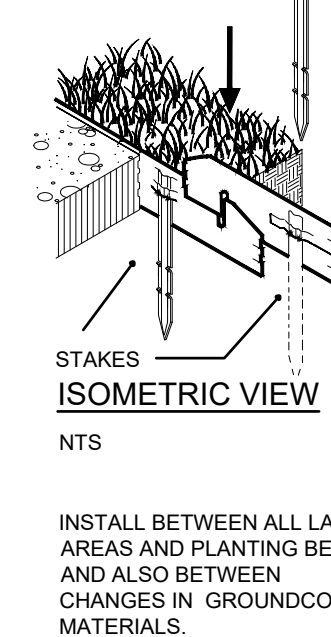
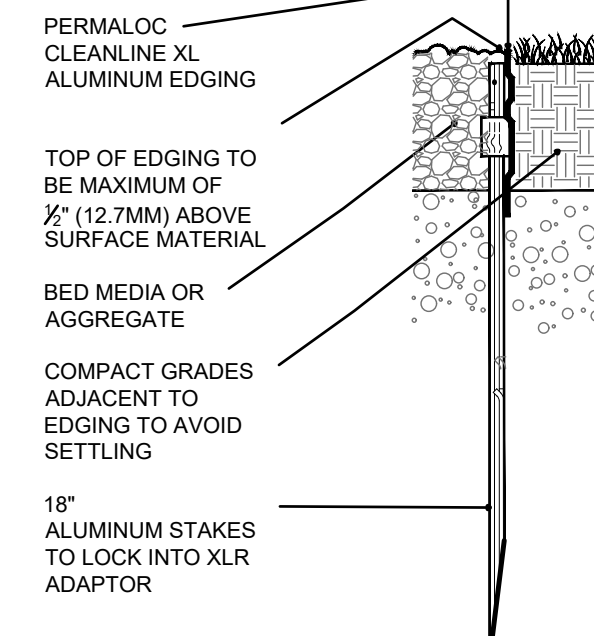
5 GROUND COVER SPACING DETAIL
L-5.00 NTS

SIZING AND FINISH:

PERMALOC CLEANLINE XL 0.116" (2.95MM) THICK
3/16" X 6" (3.2MM X 102MM),
WI 0.25" (6.35MM) EXPOSED TOP LIP
(MF) MILL FINISH-NATURAL ALUMINUM

NOTES:

1. INSTALL PER MANUFACTURER'S "INSTALLATION GUIDELINES"
2. 8'-0" (2.44 M) SECTIONS TO INCLUDE (3) 12" (305 MM) ALUMINUM STAKES. 16'-0" (4.88 M) SECTIONS TO INCLUDE (5) 12" (305 MM) ALUMINUM STAKES. CORNERS - CUT BASE EDGING UP HALFWAY AND FORM A CONTINUOUS CORNER. PERMALOC CLEANLINE AS MANUFACTURED BY PERMALOC CORPORATION, HOLLAND MI. (800) 356-9660, (616) 399-9600. CONTRACTOR'S NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT: WWW.PERMALOC.COM
3. ALUMINUM STAKES. CORNERS - CUT BASE EDGING UP HALFWAY AND FORM A CONTINUOUS CORNER. PERMALOC CLEANLINE AS MANUFACTURED BY PERMALOC CORPORATION, HOLLAND MI. (800) 356-9660, (616) 399-9600. CONTRACTOR'S NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT: WWW.PERMALOC.COM
4. PERMALOC CLEANLINE XL 0.116" (2.95MM) THICK 3/16" X 6" (3.2MM X 102MM), WI 0.25" (6.35MM) EXPOSED TOP LIP (MF) MILL FINISH-NATURAL ALUMINUM
5. PERMALOC CLEANLINE XL 0.116" (2.95MM) THICK 3/16" X 6" (3.2MM X 102MM), WI 0.25" (6.35MM) EXPOSED TOP LIP (MF) MILL FINISH-NATURAL ALUMINUM
6. PERMALOC CLEANLINE XL 0.116" (2.95MM) THICK 3/16" X 6" (3.2MM X 102MM), WI 0.25" (6.35MM) EXPOSED TOP LIP (MF) MILL FINISH-NATURAL ALUMINUM



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PROFESSIONAL SEAL(S):

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05	11/8/2019	ALT DESIGN REV

SHEET ISSUE / REVISION LOG

PROJECT #: **DRAWN BY:**
DT
DATE: **SCALE:**
11/8/2019
Sheet Title:

PLANTING DETAILS

Sheet No:

L-5.00

PLANT LISTS

TREE DISPOSITION LIST										November 7, 2019
TREES AND PALMS										
SYN	ACTION	SPECIES	COMMON NAME	DBH (in)	Ht (ft)	Canopy Dia. (ft)	Canopy Area (sq ft)	Tree Cr.	NOTES	
1	Remove	Ficus aurea	Strangler Fig	7	22	15	176		Remove. Poor condition	
2	Remove	Tabebuia pallida	Pink Tabebuia	15	35	15	176		Poor condition. Large open wound on trunk.	
3	Remove	Tabebuia pallida	Pink Tabebuia	11	25	18	254		Poor condition. Wounds on trunk.	
4	Remove	Tabebuia pallida	Pink Tabebuia	14	18	10	79		Poor structure.	
5	Remove	Bursera simaruba	Gumbo Limbo	12	25	30	706		Poor structure.	
6	Remove	Bursera simaruba	Gumbo Limbo	14	25	25	491		Poor structure.	
7	To Remain	Bursera simaruba	Gumbo Limbo	17	25	30	707	3		
8	To Remain	Quercus virginiana	Live Oak	5	16	8	50	2		
9	To Remain	Bursera simaruba	Gumbo Limbo	14	20	16	201	3		
10	To Remain	Bursera simaruba	Gumbo Limbo	12	25	25	491	3		
11	To Remain	Bursera simaruba	Gumbo Limbo	18	25	12	113	3		
12	To Remain	Bursera simaruba	Gumbo Limbo	12	25	30	707	3		
13	Relocate	Bursera simaruba	Gumbo Limbo	20	25	20	314	4		
14	Remove	Hibiscus tiliaceus	Mahoe	18	25	25	491		Invasive species	
15	Remove	Bursera simaruba	Gumbo Limbo	13	28	25	491			
16	Relocate	Bursera simaruba	Gumbo Limbo	14	32	25	491	3		
17	Remove	Bursera simaruba	Gumbo Limbo	10	32	20	314		Removal to reduce conflicts with adjacent trees to be relocated	
18	Relocate	Bursera simaruba	Gumbo Limbo	16	32	35	962	3		
19	Remove	Bursera simaruba	Gumbo Limbo	10	20	12	113			
20	Remove	Bursera simaruba	Gumbo Limbo	13	18	25	491			
21	Remove	Carpentaria acuminata	Carpenter Palm	4	6WD	8	50		Overall height	
22	Remove	Carpentaria acuminata	Carpenter Palm	4	6WD	8	50		Overall height	
23	Remove	Syagrus romanzoffiana	Queen Palm	9	30	12	113			
24	Remove	Syagrus romanzoffiana	Queen Palm	9	30	12	113			
25	Remove	Syagrus romanzoffiana	Queen Palm	9	30	12	113			
26	Remove	Bursera simaruba	Gumbo Limbo	15	32	18	462		Unbalanced crown-Phototropism/utility conflict	
27	To Remain	Bursera simaruba	Gumbo Limbo	29	40	35	962	5		
28	Remove	Bursera simaruba	Gumbo Limbo	8	16	8	50		Poor condition.	
29	Remove	Bursera simaruba	Gumbo Limbo	12	20	18	254		Poor condition.	
30	To Remain	Ficus aurea	Strangler Fig	8	15	10	79	2	Trim fencing from tree flush with trunk, no protrusions	
31	To Remain	Ficus aurea	Strangler Fig	16	20	20	314	3	Trim fencing from tree flush with trunk, no protrusions	
32	To Remain	Sweetenia mahagoni	West Indian Mahogany	20	35	45	1590		off property	
33	To Remain	Tabebuia pallida	Pink Tabebuia	29	45	28	616		off property, three trunk branching	
34	To Remain	Coccoloba diversifolia	Pigeon Plum	4	9	8	50		off property	
35	To Remain	Livistona chinensis	Chinese Fan Palm	9	14WD	9	64		off property	
36	To Remain	Quercus virginiana	Live Oak	4	15	10	79		off property	
37	Relocate	Sabal Palmetto	Sabal Pam	12	10	8	50			
38	To Remain	Quercus virginiana	Live Oak	5	16	10	79	2		
39	Relocate	Sabal Palmetto	Sabal Pam	10	9	8	50			
40	To Remain	Quercus virginiana	Live Oak	4	16	8	50			
41	To Remain	Elaeocarpus decipiens	Japanese Blueberry	3	9	4	13			
42	To Remain	Elaeocarpus decipiens	Japanese Blueberry	4	10	5	20			
43	To Remain	Elaeocarpus decipiens	Japanese Blueberry	7	20	17	227	2		
44	To Remain	Elaeocarpus decipiens	Japanese Blueberry	6	19	18	254	2		

* Total Canopy Mitigation required per Miami Dade County regulations

** Total tree credit per City of Cutler Bay Land Development Code Sec. 3-103(3)

4977.00*	43.00**
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Point Royale Plant List - Ground Level										November 7, 2019
TREES										
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES				
BSI	Y	35	Bursera simaruba	Gumbo Limbo	16'+ Ht, 4"+ DBH, 6'+ Sp	high branched trees				
PFL	Y	32	Pinus elliptici 'Densa'	Miami-Dade Slash Pine	18'+ Ht, 2.5"+ DBH, 6'+ Sp	7'+ lifted canopy				
PRA	N	49	Pimenta racemosa	Bay Rum Tree	8'+ Ht, 2"+ DBH, 5'+ Sp	Buffer screen, full to base, dense				
QVI	Y	25	Quercus virginiana	Live Oak	16'+ Ht, 4"+ DBH, 6'+ Sp					
SMA	Y	8	Sweetenia mahagoni	West Indian Mahogany	16'+ Ht, 4"+ DBH, 6'+ Sp					
TIM	N	16	Tabebuia impetiginosa	Purple Trumpet Tree	16'+ Ht, 4"+ DBH, 6'+ Sp	6'+ clearance				
PALMS										
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES				
REL	Y	11	Roystonea elata	Royal Palm	25' GW, full.					
LMO	Y	12	Leucotrinxex morrisii	Keys Thatch Palm	5'-8" x Ht ~25 Gal.	4 palms to be 2+ trunks at 5'+, 8 to be single 5'+, 3 to be 8'+				
TBA	Y	10	Thrinax radiata	Florida Thatch Palm	5'-8" x Ht ~25 Gal.	4 palms to be 2+ trunks at 5'+, 6 to be single 5'+, 5 to be 8'+				
ACCENT SHRUBS										
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES				
AE	Y	84	Ardisia escallonioides	Marlberry	8'+ Ht, 2"+ DBH, 4'+ Sp	full and dense				
HP	Y	15	Hamelia Patens	Firebush	15 Gal, 5' HT.	Location TBD				
JI	N	5	Jatropha integrirna	Spicy Jatropha	6'+ Ht, 3'+Sp					
MT	Y	7	Melochia tomentosa	Pyramid Bush	7 Gal, 3' x Ht.					
MF	Y	99	Myrcianthes fragrans	Simpson Stopper	15 Gal, 5' Ht.	Shrub form. Full to base. Heavy				
SR	Y	59	Sereoa repens	Silver Saw Palmetto	30" x Ht x 30"+					
RE	N	23	Rhapis excelsa	Lady Palm	15 Gal, 5' Ht.					
SHRUB MASSES										
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES				
PLI	Y	474	Psychotria ligustrifolia	Bahama Coffee	30" x Ht x 30"+, 42"OC					
SME	Y	20	Sereoa mexicana var. chapmanii	Bahama Senna	3' Ht x 3' Sp+, 48" OC					
ZFL	Y	235	Sereoa repens	Silver Saw Palmetto	30" x Ht x 30"+, 48" OC	50% White Silver 50% Green				
ZFL	Y	848	Zamia floridana	Coontie	2' x Ht x 2'+ Sp, 30" OC					
GROUNDCOVERS										
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES				
LIR	N	2100	Liriope muscari 'variegata'	Artex Grass	1 Gal, 15" OC					
TUR	Y	5007 SF	Stenotaphrum secundatum 'Florant'	St Augustine Floratam	Sod square feet					
TFL	Y	769	Tripsacum floridanum	Gamagrass	3 Gal, 36" OC	Mix with wildflowers.				
WILDFLOWERS VARIOUS (LOCATIONS TO BE DETERMINED ON SITE BY LANDSCAPE ARCHITECT)										
AT	Y	25	Asclepias curassavica	Milkweed	1 Gal, full	Location TBD by Land Arch.				
HL	Y	30	Hymenocallis latifolia	Spider Lily	1 gal.	Location TBD by Land Arch.				
SC	Y	40	Salvia coccinea	Tropical Sage	1 Gal, full. Deep red flower.	Location TBD by Land Arch.				
SS	Y	20	Solidago sempervirens	Seaside Goldenrod	1 gal.	Location TBD by Land Arch.				
VG	Y	30	Vernonia gigantea	Giant Ironweed	1 gal.	Location TBD by Land Arch.				
VINES AND EPIPHYTES										
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES				
PS	Y	25	Passiflora suberosa	Corkstern Passionflower	1 Gal.	Plant amongst Bahama Coffee.				

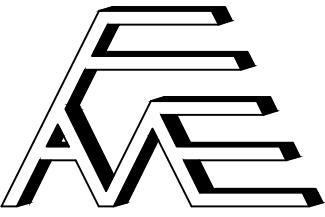
Point Royale Plant List - Pool Deck Level										November 7, 2019
TREES										
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES				
BSI	Y	49	Conocarpus erectus, sericeus	Silver Buttonwood	16'+ Ht, 2.5"+ DBH, 6'+ Sp	high branched trees				
JMI	N	7	Jacaranda mimosifolia	Blue Jacaranda	16'+ Ht, 4"+ DBH, 6'+ Sp					
PALMS										
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES				
LMO	Y	14	Leucotrinxax morrisii	Keys Thatch Palm	5'-8" x Ht ~25 Gal.	8 palms to be 2+ trunks at 5'+, 8 to be single 5'+, 3 to be 8'+				
ACCENT SHRUBS										
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES				
AE	Y	84	Ardisia escallonioides	Marlberry	8'+ Ht, 2"+ DBH, 4'+ Sp	full and dense				
HP	Y	15	Hamelia Patens	Firebush	15 Gal, 5' HT.	Location TBD				
SR	Y	54	Sereoa repens	Silver Saw Palmetto	30" x Ht x 30"+					
RE	N	24	Rhapis excelsa	Lady Palm	15 Gal, 5' HT.					
SHRUB MASSES										
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES				
PLI	Y	693	Psychotria ligustrifolia	Bahama Coffee	30" x Ht x 30"+, 42"OC					
ZFL	Y	120	Zamia floridana	Coontie	2' x Ht x 2'+ Sp, 30" OC					
GROUNDCOVERS										
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES				
LIR	N	2965	Liriope muscari 'variegata'	Artex Grass	1 Gal, 15" OC					
VINES AND EPIPHYTES										
SYMBOL	NATIVE	QTY	SPECIES	COMMON NAME	SIZE	NOTES				
PS	Y	20	Passiflora suberosa	Corkstern Passionflower	1 Gal.	Plant amongst Bahama Coffee.				

PLANTING NOTES:

- Contractor shall provide additional \$3500 (material cost) accent plant allowance, which landscape architect may use to select additional plants or contractor to install following initial installation.
- Plants selected by landscape architect must be brought to the site with original flagging from landscape architect intact. flagging to be removed upon approval of material by landscape architect
- All plants not directly selected by the landscape architect must be approved by the landscape architect, either through direct inspection or photograph, prior to delivery to site. no exceptions.

GENERAL LANDSCAPE NOTES AND SPECIFICATIONS

- The Landscape Contractor's contract shall acknowledge all terms and conditions set forth under these general landscape notes and specifications.
- The Landscape Contractor shall become familiar with the scope of work as well as the site conditions and any obstacles prior to submitting a bid.
- The Landscape Contractor shall verify all estimated quantities of material shown on the Landscape Architect's drawings prior to submitting a bid.
- Planting plan shall take precedence over the plant list in case of discrepancies.
- All plant material symbols shown on the landscape plans shall be considered diagrammatic and should be adjusted in the field by the landscape contractor to avoid all utilities and all other obstructions, after consultation with the Landscape Architect.
- All sizes specified for plant material on the plan and plant list shall be considered minimum.
- All Plant materials must meet or exceed the specified minimum requirements for both height and spread.
- Any specific design requirements such as specific shape, character, number of tree trunks, plant source, transporting, and special bracing noted on the plan or plant list, must be followed. Changes will require approval and coordination by the Landscape Architect.
- All materials shall be subject to availability at time of installation. Substitutions may be made only after consultation with the Landscape Architect.
- Changes may occur during the normal course of implementation. Verbal change orders will not be honored. Any changes must be submitted to the Landscape Architect in writing as official change orders and will be reviewed and approved (or rejected) in writing by owner/client.
- Landscape Contractor shall locate and verify all underground utilities or structures prior to digging. Landscape Contractor shall repair all damages to underground utilities caused by landscape installation at no cost to owner.
- Landscape Contractor shall coordinate with the general contractor, the removal of all building construction debris and foreign material prior to installation of any plant material.
- Site preparation should include the eradication and removal of any weeds or grasses, removal and clean up of any dead material, and rough and finish grading per specifications or landscape plans.
- For plant material designated to be removed, the entire root system shall be dug up and removed from the site.
- All planting areas shall be excavated to a minimum of 2' for groundcovers and more than 3' for shrubs, trees, and palms. Planting areas should receive soil mix as directed by item 37 of General Specifications (below), or as otherwise stated in plan, specification, or detail.
- All plant material shall be Florida No. 1 or better - Florida Department of Agriculture Grades and standards, 2015.
- All trees to be trimmed at installation following BMP practices outlined in Florida Department of Agriculture Grades and standards, Appendix A, 2015.
- All trees to undergo root ball correction following BMP practices outlined in Florida Department of Agriculture Grades and standards, Appendix A, 2015.
- All trees shall be staked in a good workmanlike manner. No nail staking is permitted (Refer to bracing specifications and planting details).
- After removal or relocation of existing trees and palms, all remaining holes shall be back filled around and under root ball with washed beach sand. Sod disturbed areas if necessary.
- All existing plant materials that shall be reused and remain on site, shall be protected during all construction phases. Any plant material scarred or destroyed that has been designated for reuse must be replaced at the contractor's expense with a similar species size and quality.
- All trees to be relocated shall be root pruned at a minimum 30 days prior to relocation. Contractor shall consult with a specialist to review exact requirements of each particular species.
- All existing plant material designated to be stored off-site shall be protected and cared for according to industry best practices. Any plant material scarred or destroyed that has been designated for reuse must be replaced at the contractor's expense with the same species of a similar size and quality.
- All required trees, shrubs, and ground covers shall receive a maleleuca mulch of 2" to 3" thickness, topped with ½" thickness pine straw mulch. Do not use cypress or red mulch.
- All trees shall have a 2" caliper DBH minimum for every 10' HT, unless otherwise stated n plant list.
- All 1 gallon plant materials shall have 12" spread minimum. All 3 gallon plant material shall have a 20"-24" spread minimum.
- All new or relocated plants shall received automatic irrigation.
- Landscape Contractor shall hand water or arrange for watering of plants after planting until plants are thoroughly established or an irrigation system is operational and accepted. Landscape contractor is responsible for replacement of failed plant material due to lack of irrigation prior to acceptance of irrigation system. Any plants failing due to defects in construction of the irrigation system during the warranty period shall also require replacement by the contractor. At minimum, and prior to irrigation system installation, all new plant material shall be watered three times per week.
- Landscape Contractor shall coordinate work with the General Contractor and all other contractors to avoid damage to plants and soils.
- The Landscape Contractor shall at all times keep the job site clean and free of accumulated waste, debris, and rubbish. All equipment and materials that need to remain on site for an extended period shall be organized in an orderly and professional manner.
- The landscape plan shall be installed in compliance with all local codes.
- On-site layout of plant materials shall be coordinated with the Landscape Architect at the time of installation.
- The Landscape Architect shall be notified of plant installation with a minimum of 1.5 weeks notice.
- All plants, materials, workmanship, and invoices are subject to the approval of the Landscape Architect.
- The Landscape Contractor shall maintain or coordinate with the irrigation contractor and landscaping maintenance services for



FORD ENGINEERS, INC.
1950 N.W. 94th AVENUE, 2nd FLOOR
MIAMI, FLORIDA 33172
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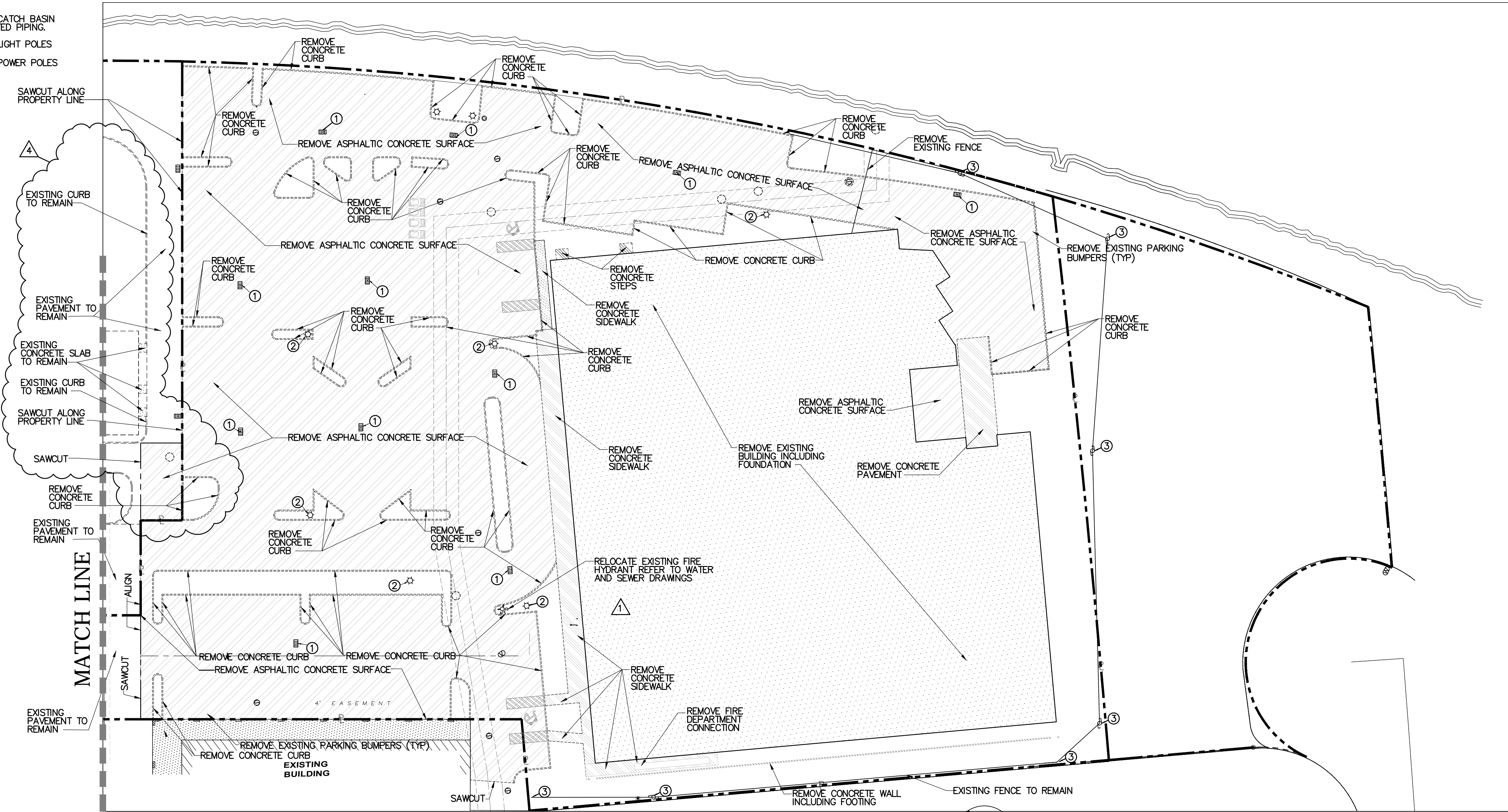
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RECORD OF REVISION

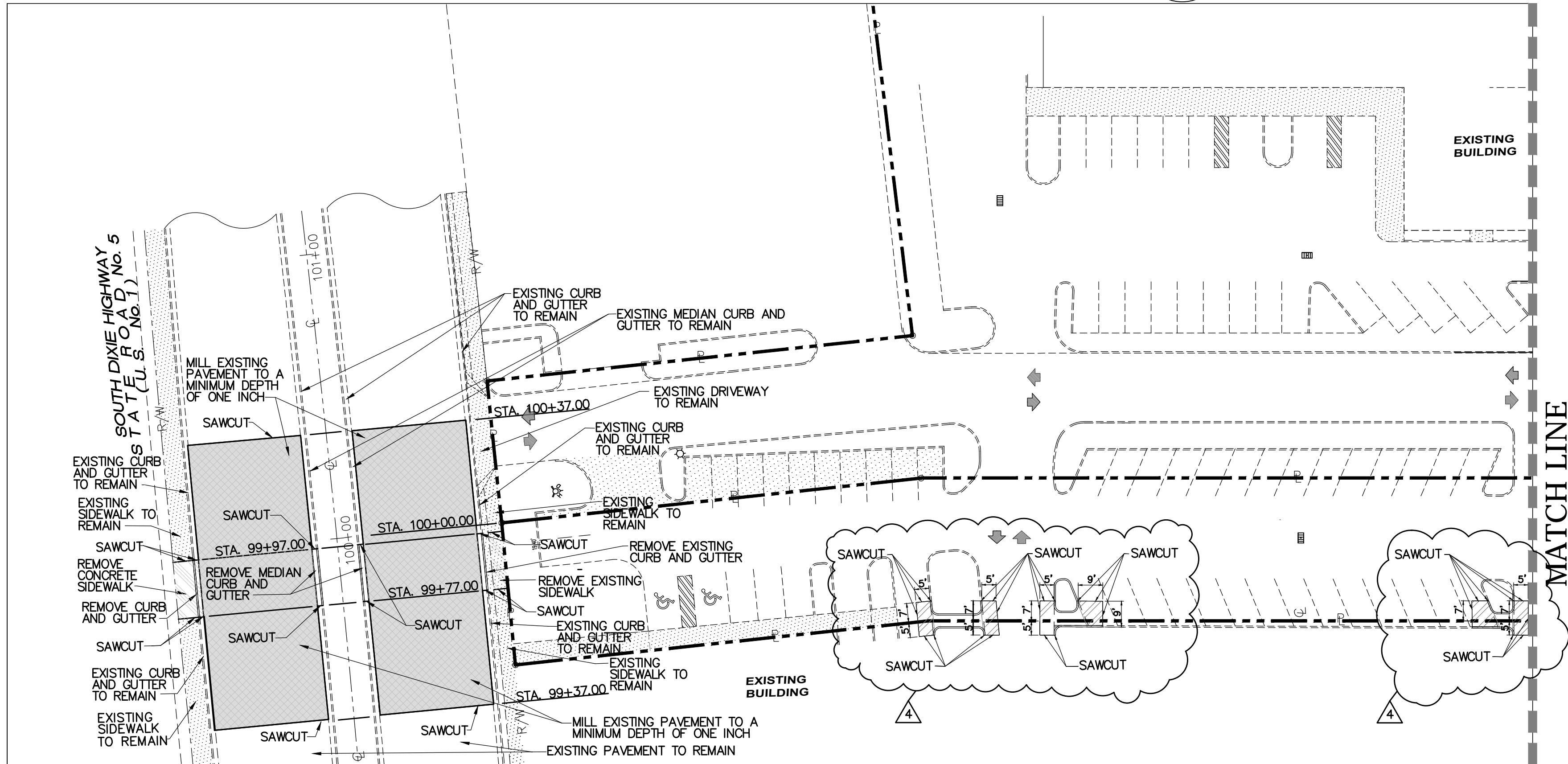
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2	10-24-19	REVISED SUBMITTAL
3	10-30-19	KCI COMMENT RESPONSES
4	11-6-19	KCI COMMENT RESPONSES

POINT ROYALE APARTMENTS	DEMOLITION PLAN	PROJ. LOC.: SECTION 5, TOWNSHIP 56 SOUTH, RANGE 40 EAST MIAMI, FL 33132
TYPE OF PROJECT:	CLIENT:	CLIENT ADDRESS: 56 N.E. 1st STREET MIAMI, FL 33132
FOR THE FIRM BY:	CLIENT:	CERT. OF AUTHORIZATION No. 6891
ROBERT O. A. LAGE, P.E.	ACCAR, LTD	

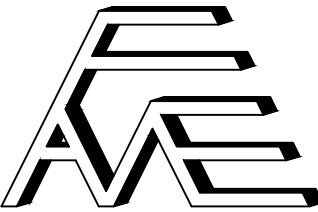
SCALE:	AS SHOWN
DESIGNED BY:	R. LAGE
DRAWN BY:	A. MORGADO
CHECKED BY:	R. LAGE
SET #:	
DATE:	5/2/19
PROJECT No:	19-002
SHEET:	PD-1
	2 OF 7



DEMOLITION PLAN
SCALE: 1" = 30'



LEGEND	
[Hatched Pattern]	REMOVE EXISTING ASPHALTIC SURFACE
[Hatched Pattern]	MILL EXISTING ASPHALTIC CONCRETE SURFACE TO A DEPTH OF 1 INCH
[Hatched Pattern]	REMOVE EXISTING CBS BUILDING
[Hatched Pattern]	REMOVE EXISTING SIDEWALK
[Hatched Pattern]	EXISTING SIDEWALK (TO REMAIN)



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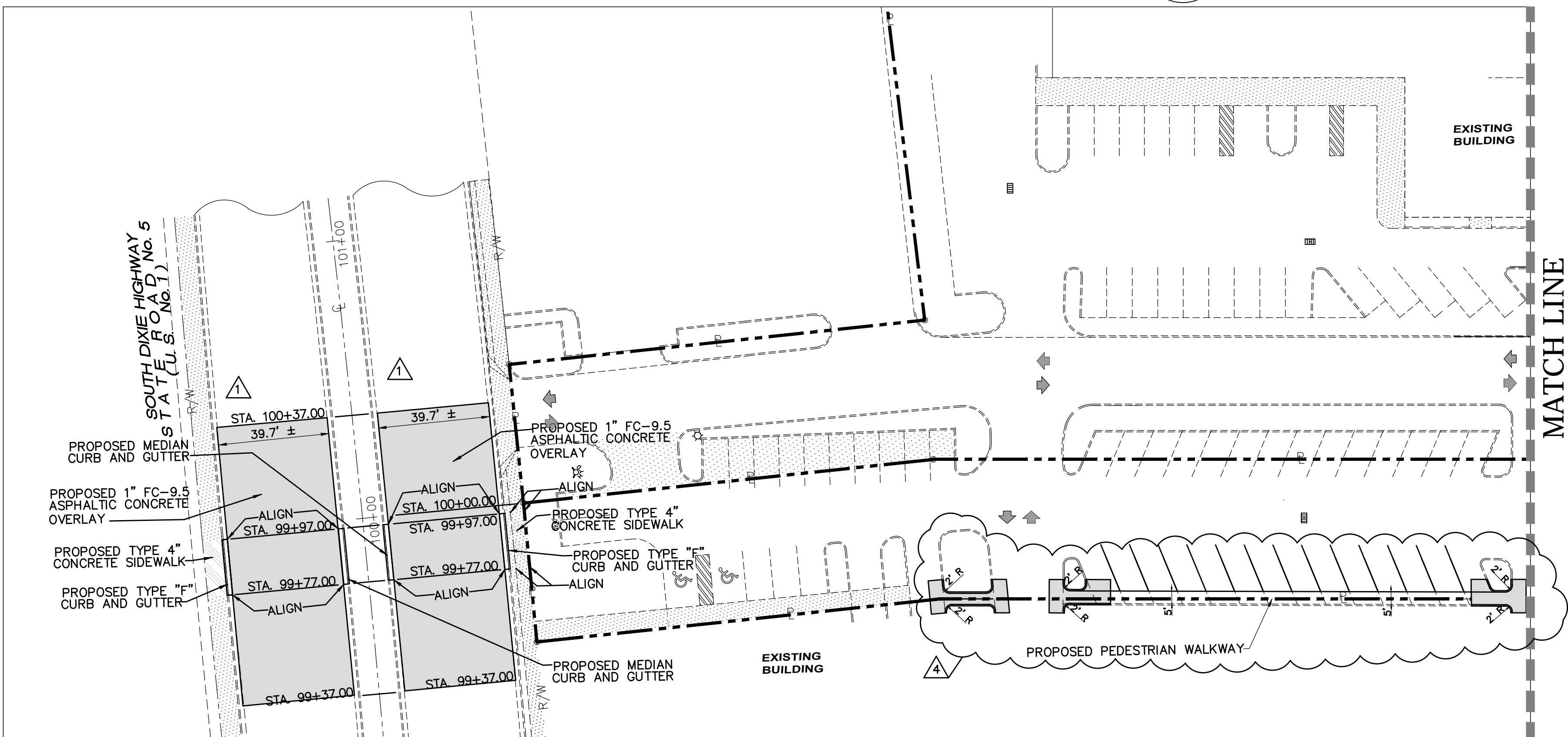
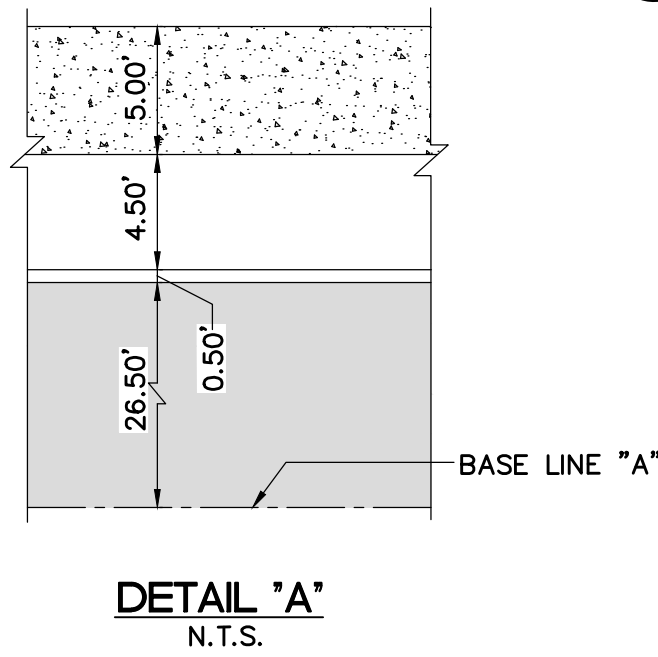
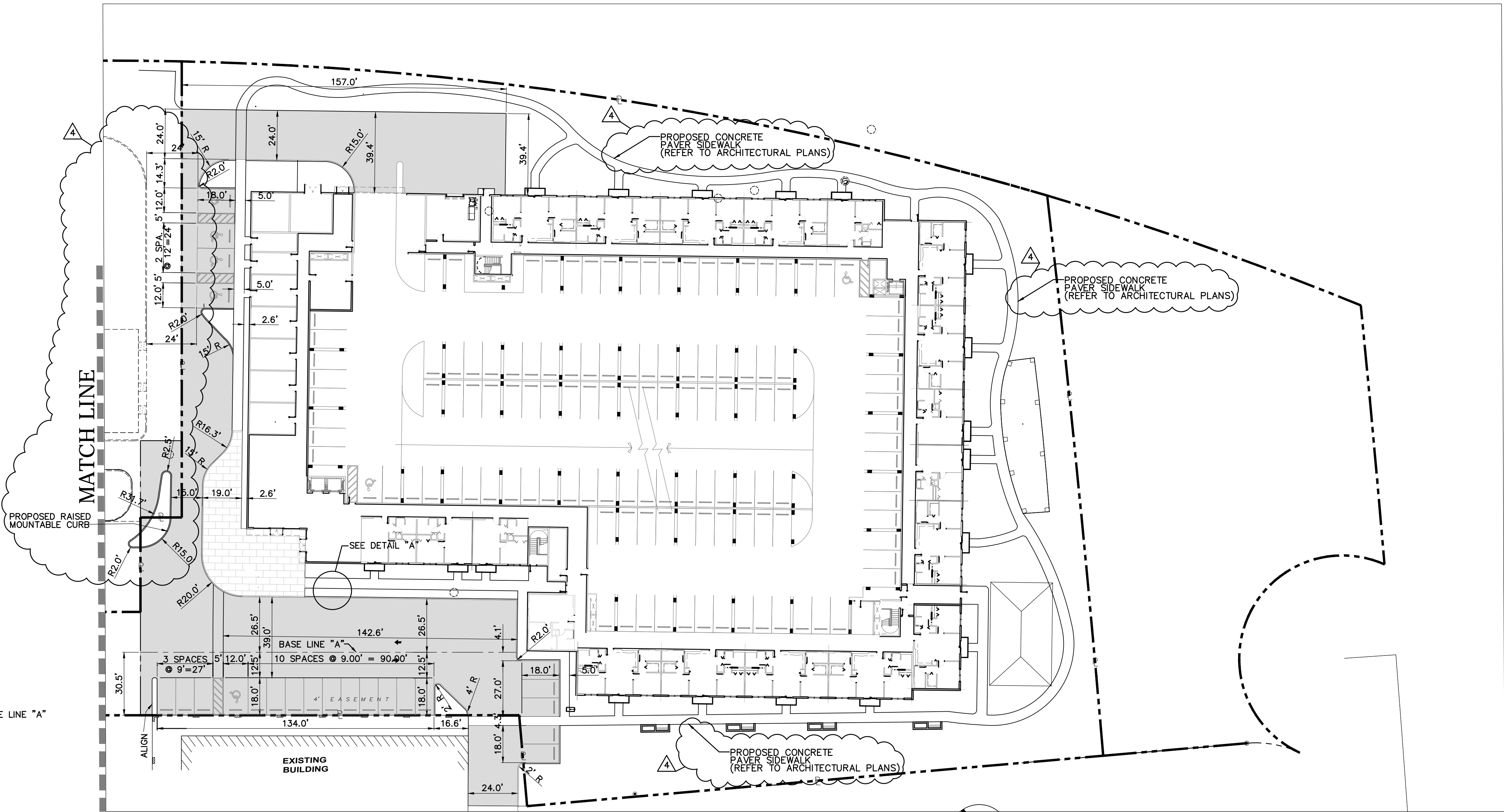
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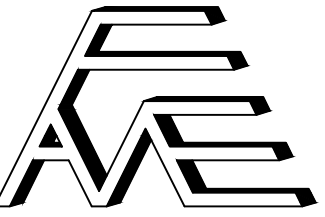
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AM	RL	10-24-19	REVISED SUBMITTAL
AM	RL	10-30-19	KCI COMMENT RESPONSES
AM	RL	11-6-19	KCI COMMENT RESPONSES

POINT ROYALE APARTMENTS	GEOMETRY PLAN
TYPE OF PROJECT:	CLIENT:
ACCAR, LTD	
PROJ. LOC.: SECTION 5, TOWNSHIP 55 SOUTH, RANGE 40 EAST MIAMI, FL 33132	CLIENT ADDRESS: 55 N.E. 1st STREET MIAMI, FL 33132

SCALE:	AS SHOWN
DESIGNED BY:	R. LAGE
DRAWN BY:	A. MORGADO
CHECKED BY:	R. LAGE
SET #:	
DATE:	5/2/19
PROJECT No:	19-002
SHEET:	PD-2



LEGEND	
[Pattern]	PROPOSED ASPHALTIC CONCRETE PAVEMENT
[Pattern]	EXISTING PAVEMENT (TO REMAIN)
[Pattern]	PROPOSED CONCRETE SIDEWALK
[Pattern]	EXISTING CONCRETE SIDEWALK



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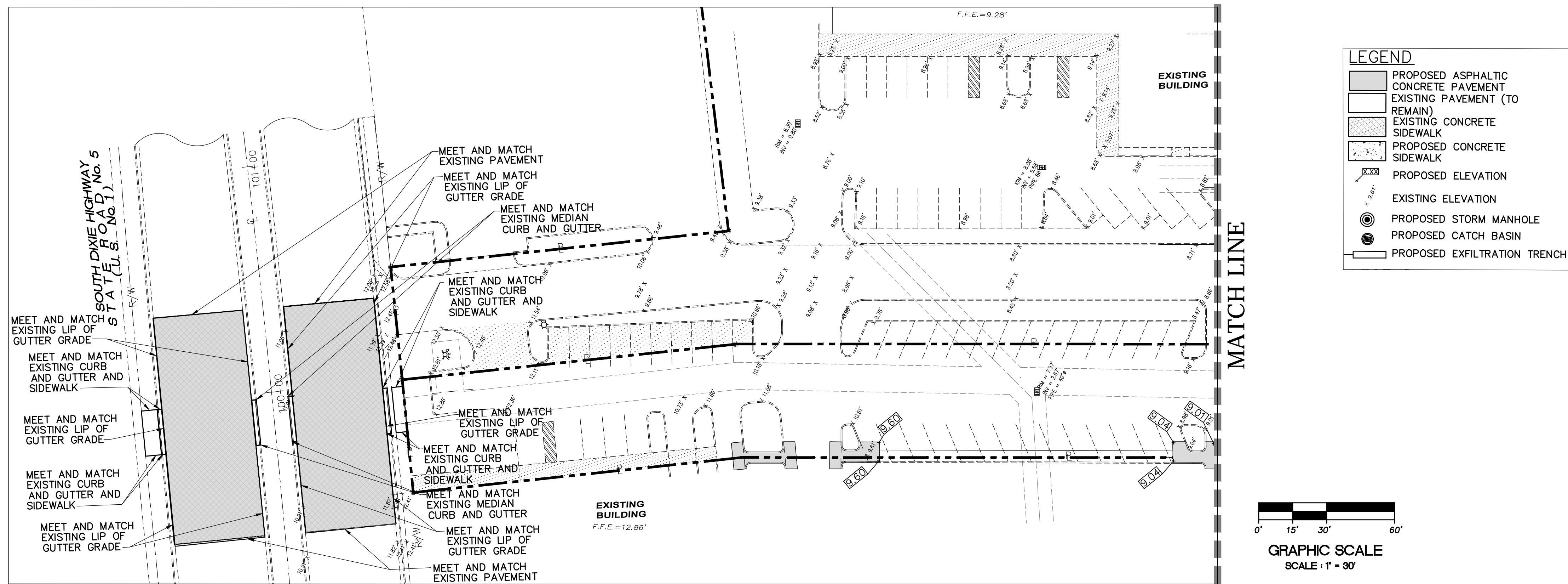
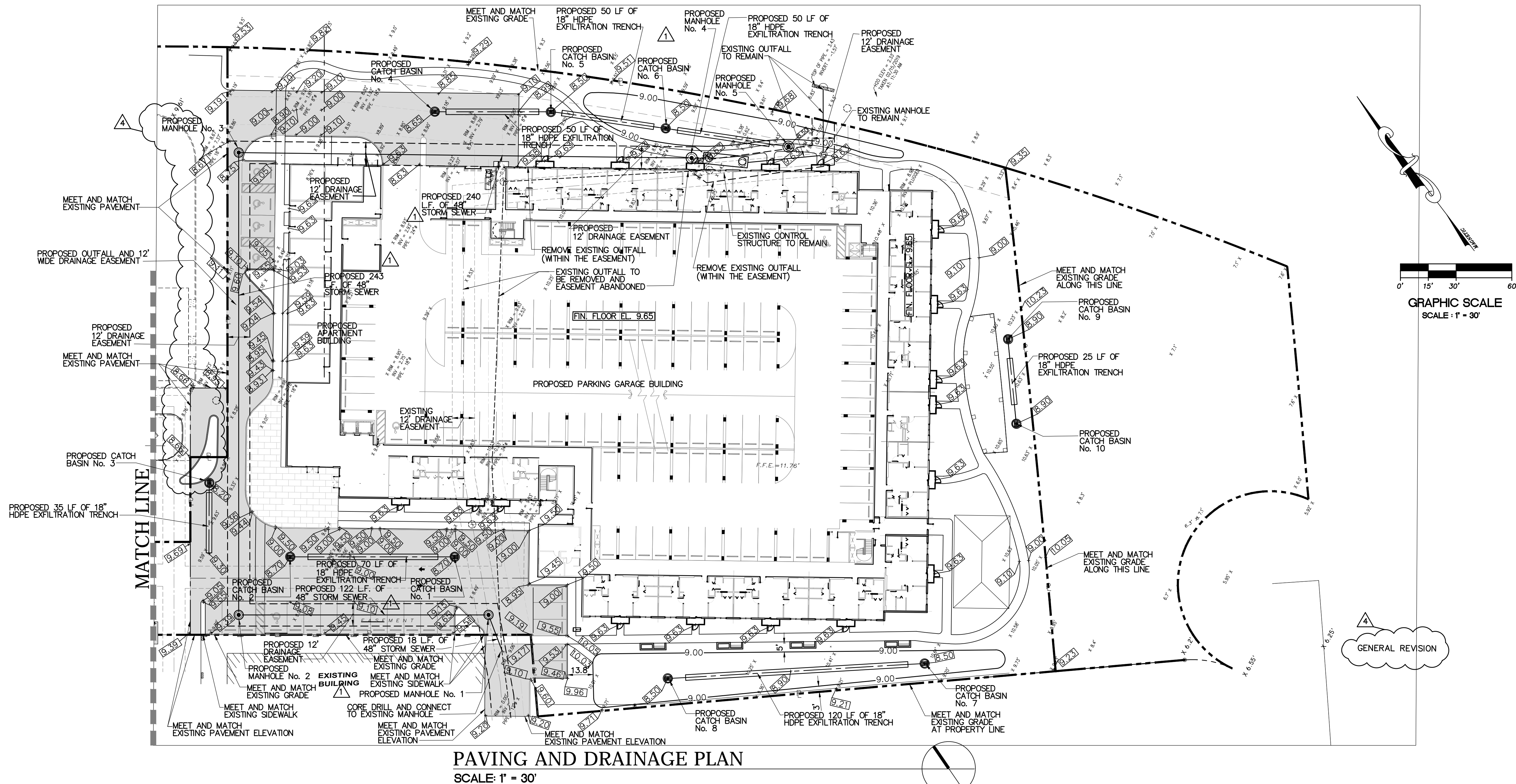
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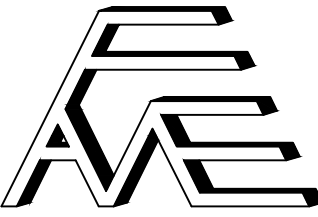
BY	APP.	DATE	DESCRIPTION
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POINT ROYALE APARTMENTS	PAVING AND DRAINAGE PLAN	ACCAR, LTD
TYPE OF PROJECT:	CLIENT:	PROJ. LOC.: SECTION 5, TOWNSHIP 56 SOUTH, RANGE 40 EAST MIAMI, FL 33132
FOR THE FIRM BY: ROBERT O. LAGE, P.E. CIVIL ENGINEER CERT. OF AUTHORIZATION NO. 6991	CLIENT ADDRESS: 56 N.E. 1st STREET MIAMI, FL 33132	

SCALE:	AS SHOWN
DESIGNED BY:	R. LAGE
DRAWN BY:	A. MORGADO
CHECKED BY:	R. LAGE
SET #:	
DATE:	5/2/19
PROJECT No:	19-002
SHEET:	PD-3
	4 OF 7





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AM	RL		

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3	11-8-19	KCI COMMENT RESPONSES

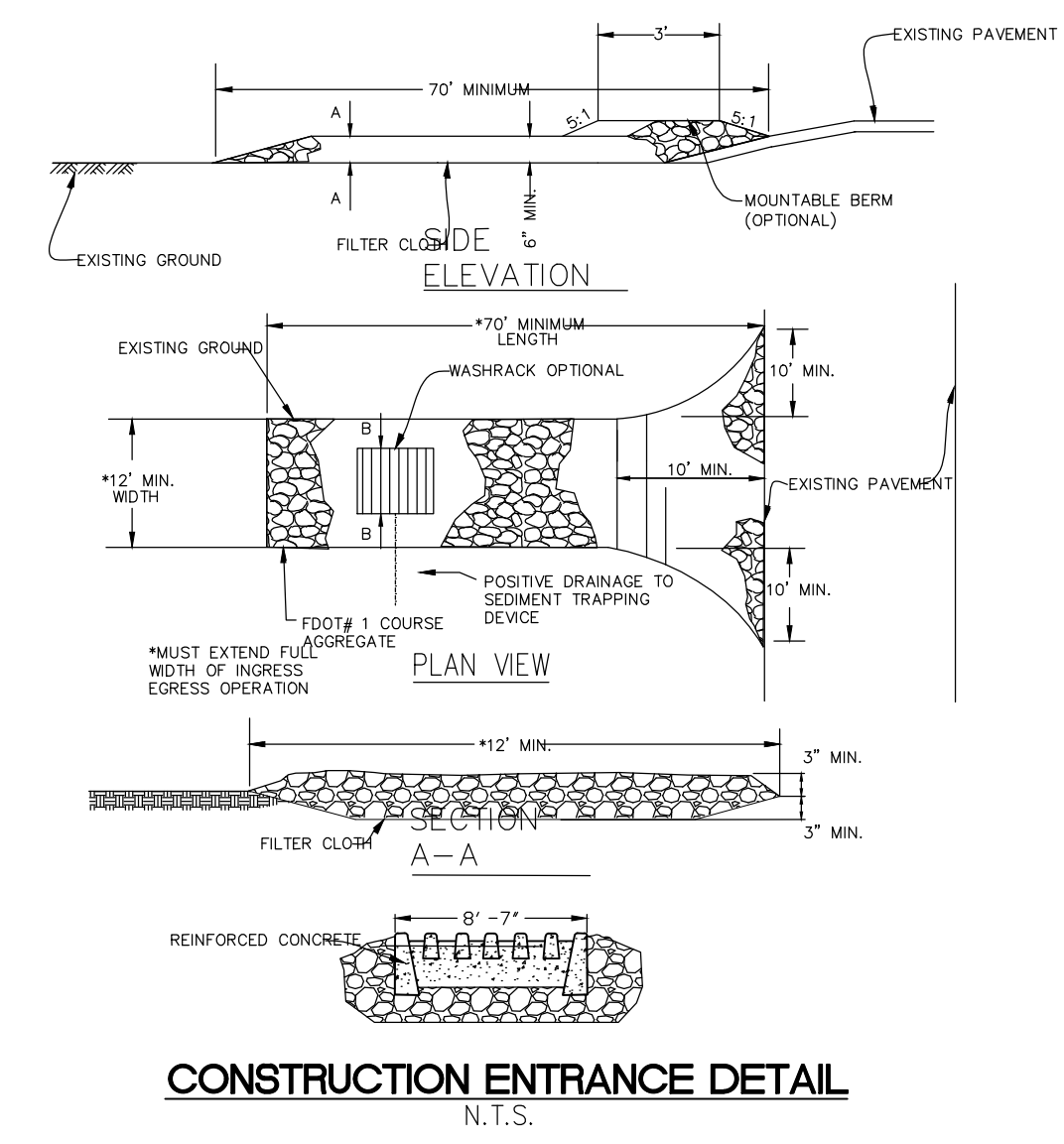
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2	10-30-19	KCI COMMENT RESPONSES
3	11-8-19	KCI COMMENT RESPONSES

NO.	DATE	DESCRIPTION
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2	10-30-19	KCI COMMENT RESPONSES
3	11-8-19	KCI COMMENT RESPONSES

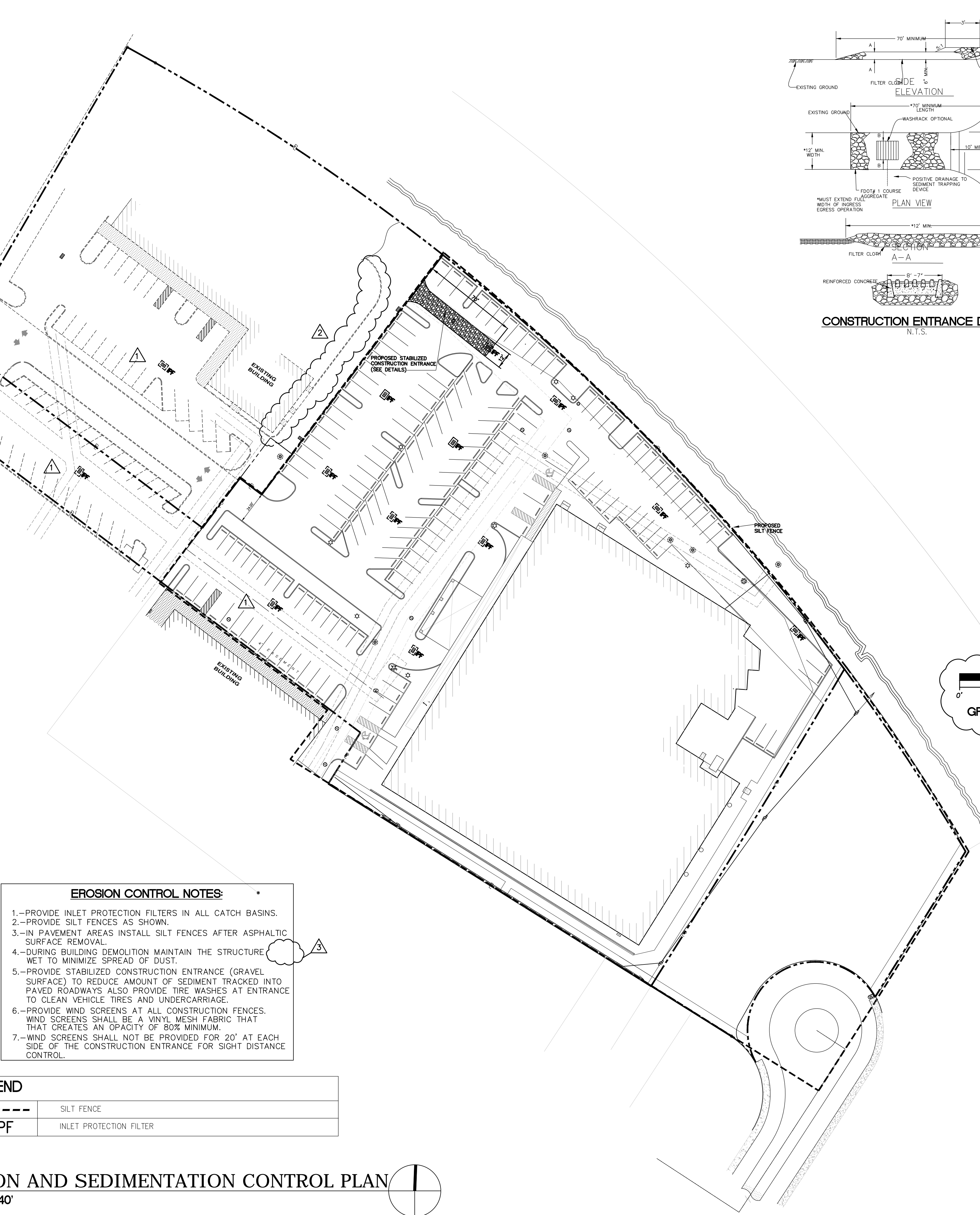
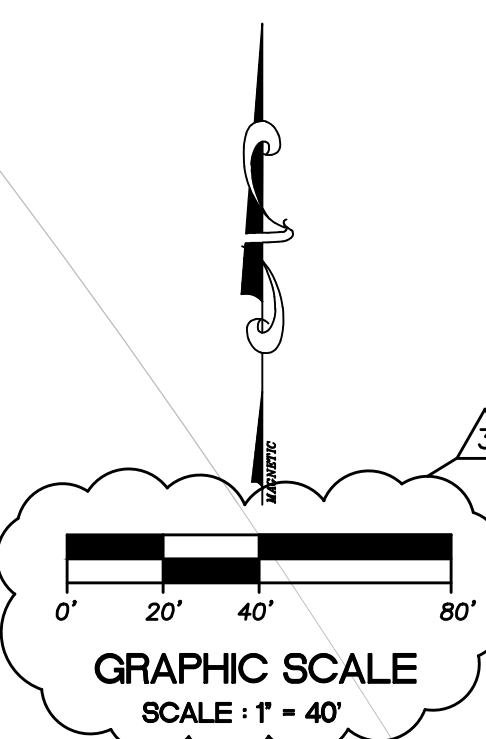
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2	10-30-19	KCI COMMENT RESPONSES
3	11-8-19	KCI COMMENT RESPONSES

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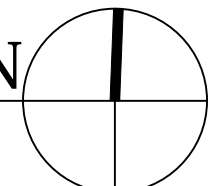


CONSTRUCTION ENTRANCE DETAIL
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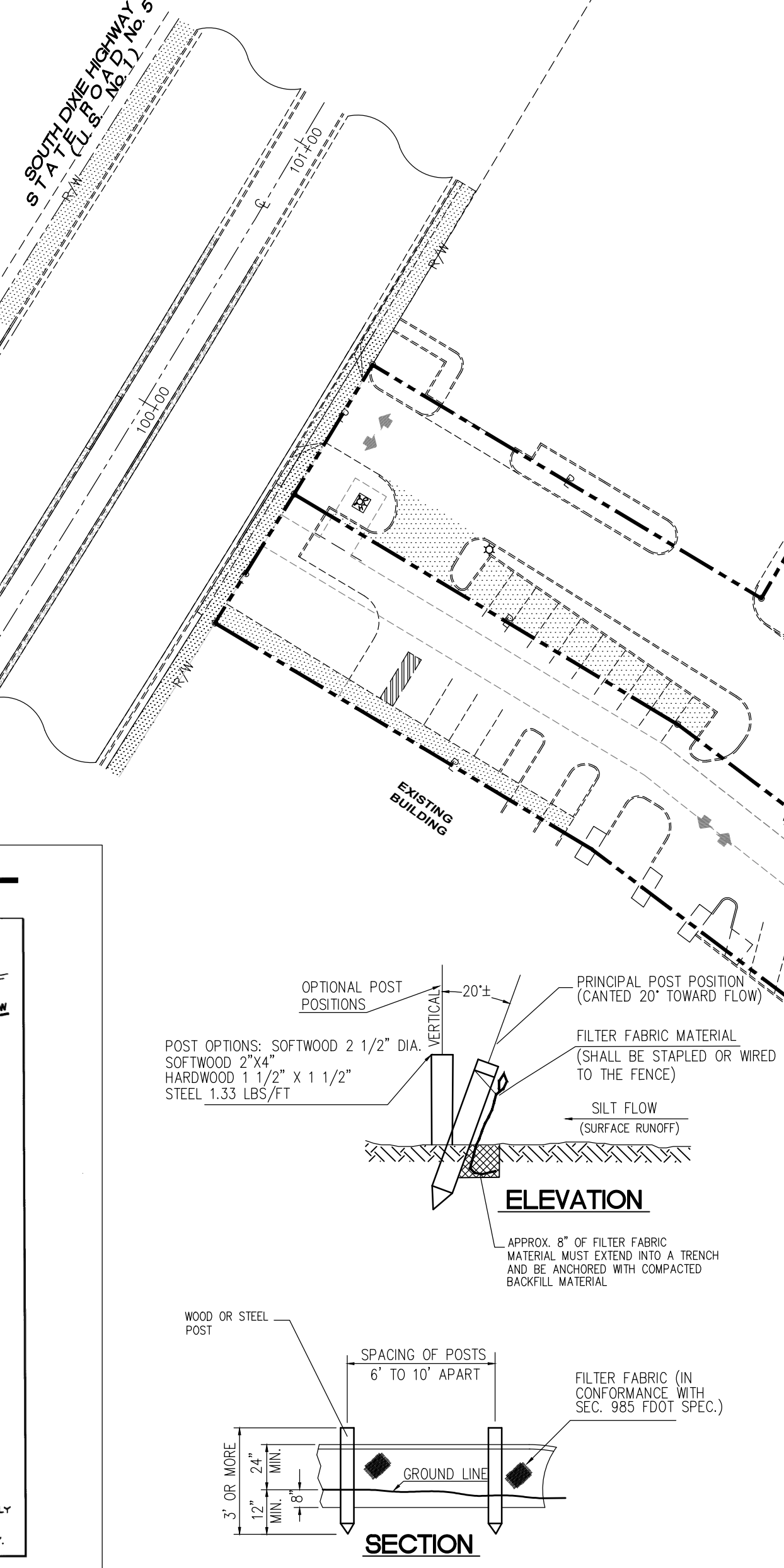


- EROSION CONTROL NOTES:**
- 1.-PROVIDE INLET PROTECTION FILTERS IN ALL CATCH BASINS.
 - 2.-PROVIDE SILT FENCES AS SHOWN.
 - 3.-IN PAVEMENT AREAS INSTALL SILT FENCES AFTER ASPHALTIC SURFACE REMOVAL.
 - 4.-DURING BUILDING DEMOLITION MAINTAIN THE STRUCTURE WET TO MINIMIZE SPREAD OF DUST.
 - 5.-PROVIDE STABILIZED CONSTRUCTION ENTRANCE (GRAVEL SURFACE) TO REDUCE AMOUNT OF SEDIMENT TRACKED INTO PAVED ROADWAYS ALSO PROVIDE TIRE WASHES AT ENTRANCE TO CLEAN VEHICLE TIRES AND UNDERCARRIAGE.
 - 6.-PROVIDE WIND SCREENS AT ALL CONSTRUCTION FENCES. WIND SCREENS SHALL BE A VINYL MESH FABRIC THAT THAT CREATES AN OPACITY OF 80% MINIMUM.
 - 7.-WIND SCREENS SHALL NOT BE PROVIDED FOR 20' AT EACH SIDE OF THE CONSTRUCTION ENTRANCE FOR SIGHT DISTANCE CONTROL.

LEGEND	
---	SILT FENCE
□ IPF	INLET PROTECTION FILTER

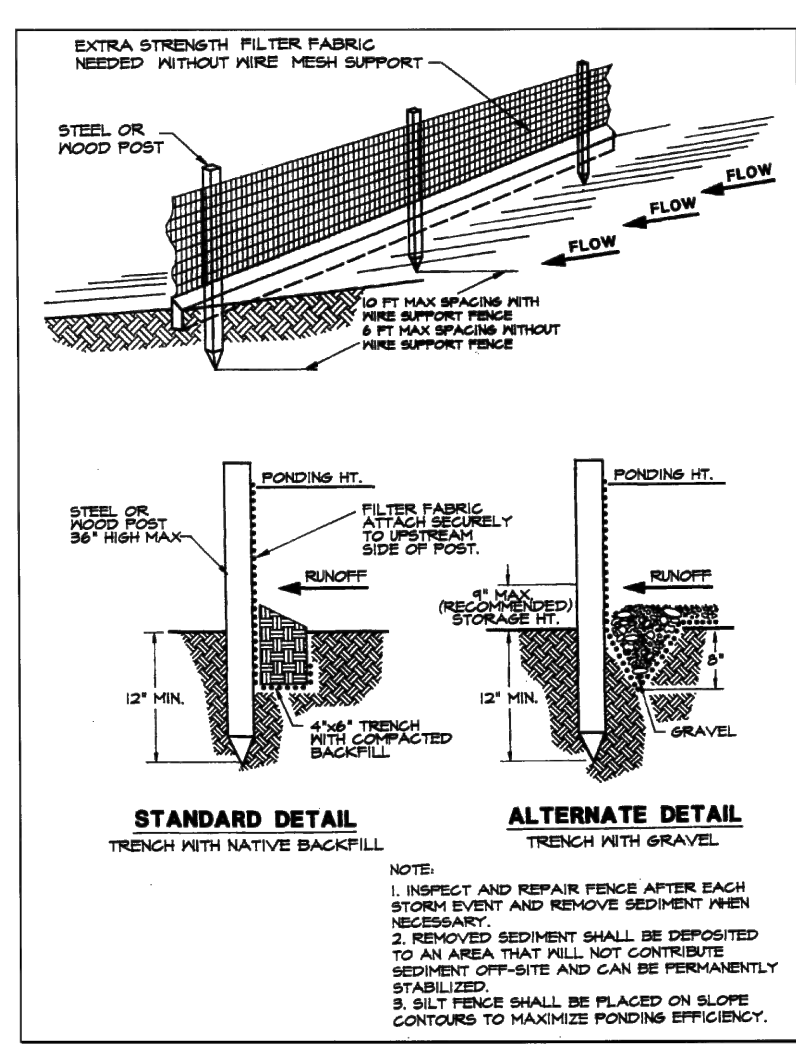


EROSION AND SEDIMENTATION CONTROL PLAN
SCALE: 1" = 40'

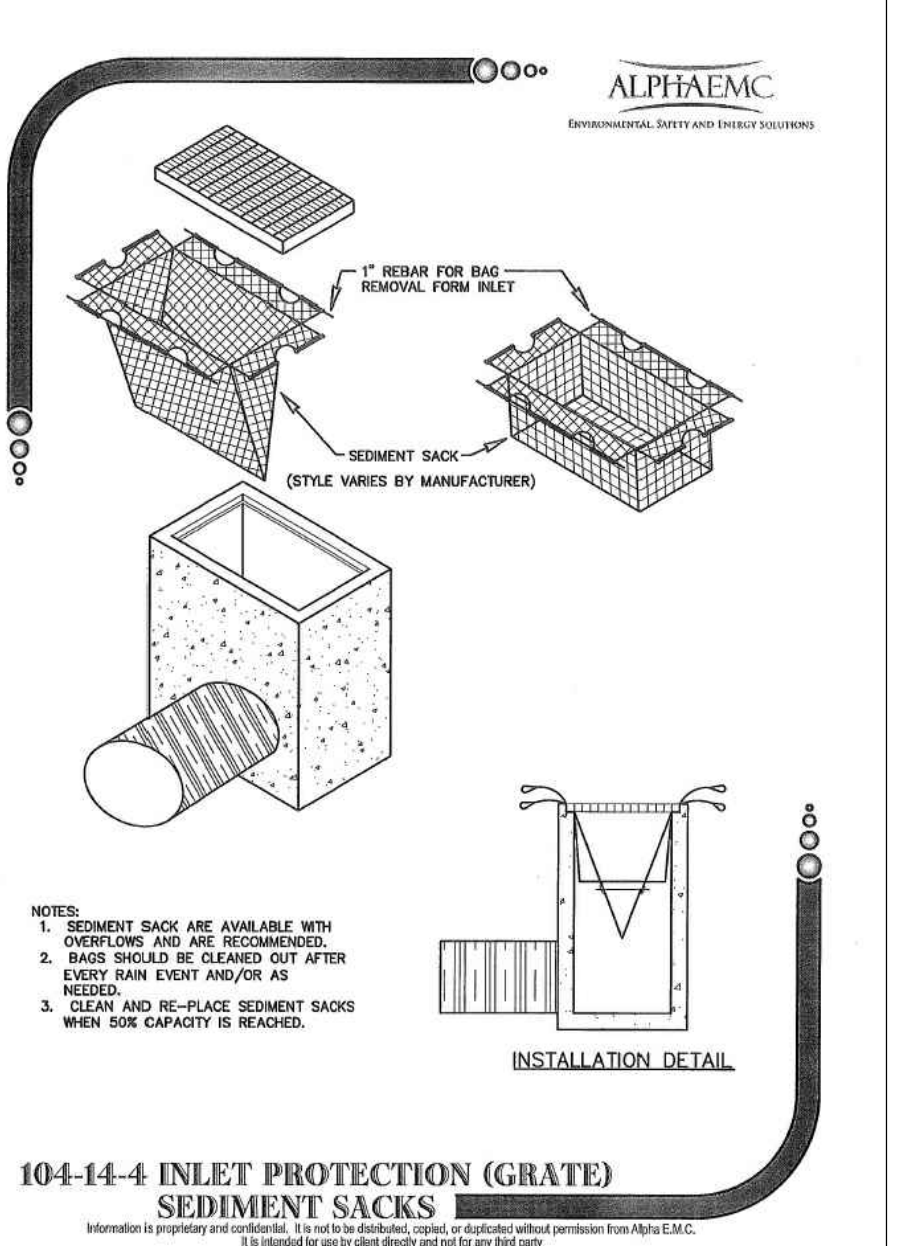


TEMPORARY SILT FENCE
TO INTERCEPT AND DETAIN SMALL AMOUNTS OF SEDIMENT FROM DISTURBED AREAS DURING CONSTRUCTION OPERATIONS.
N.T.S.

Chapter 4 - Best Management Practices for Erosion and Sediment Control

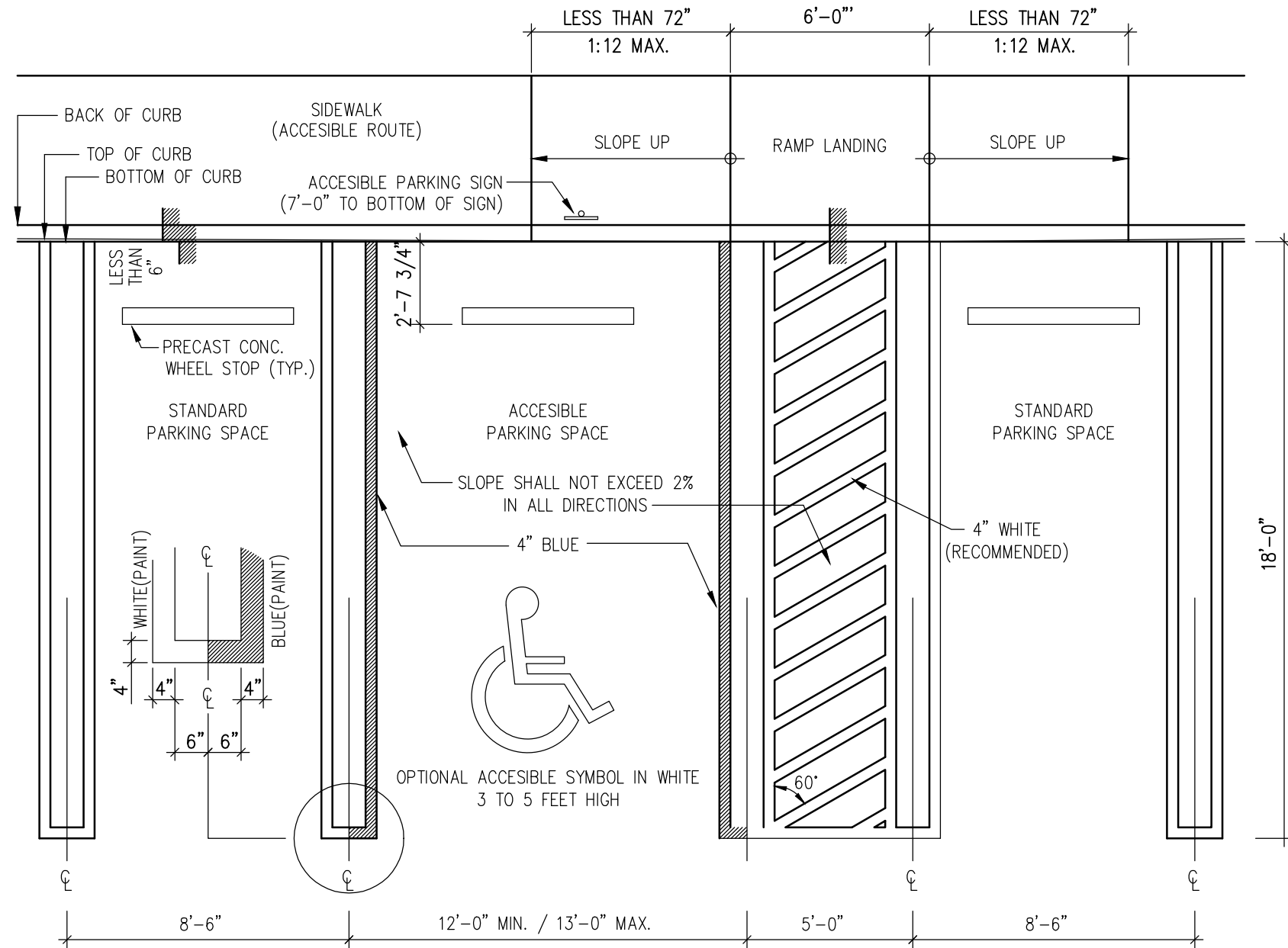
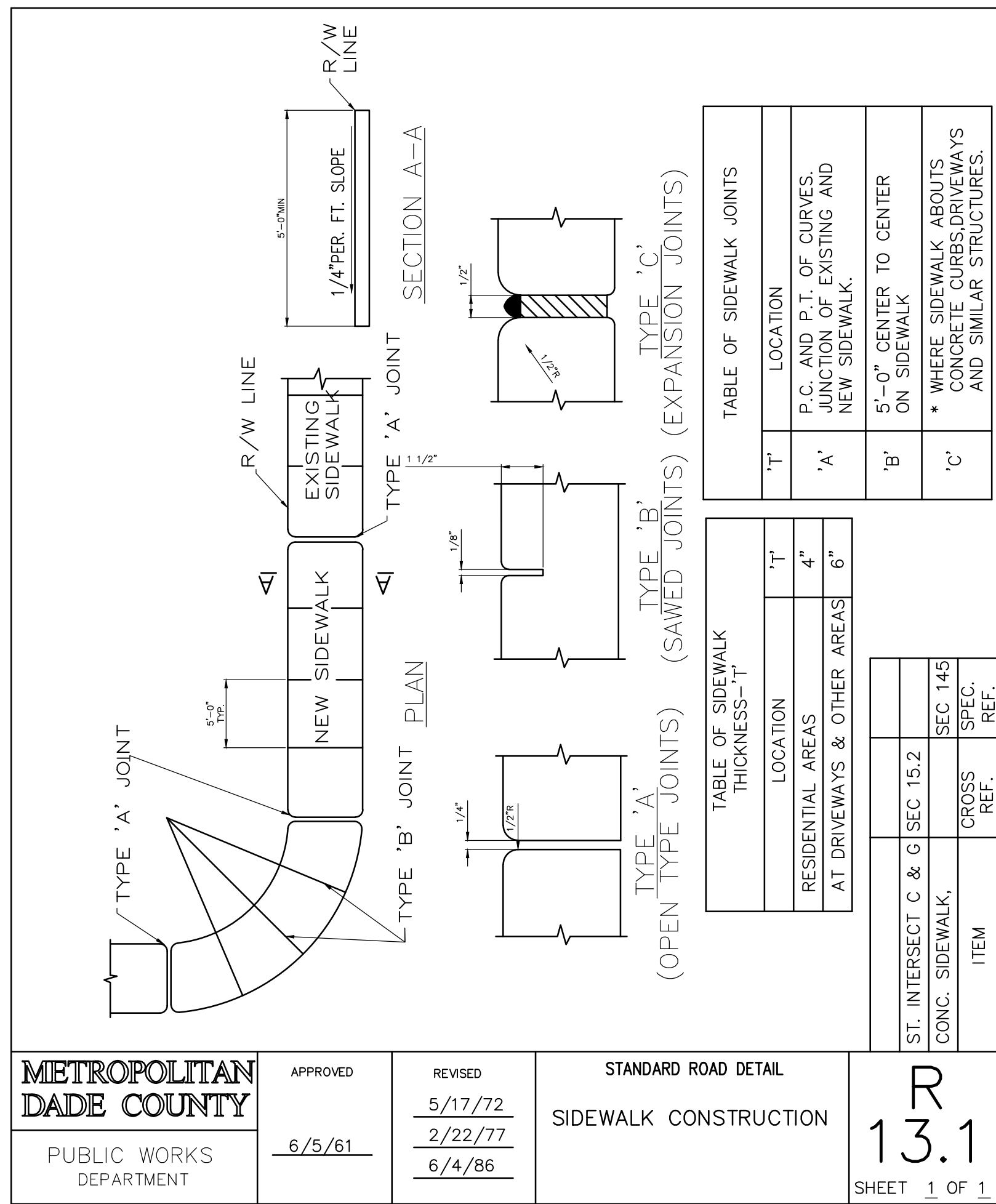


SILT FENCE DETAILS
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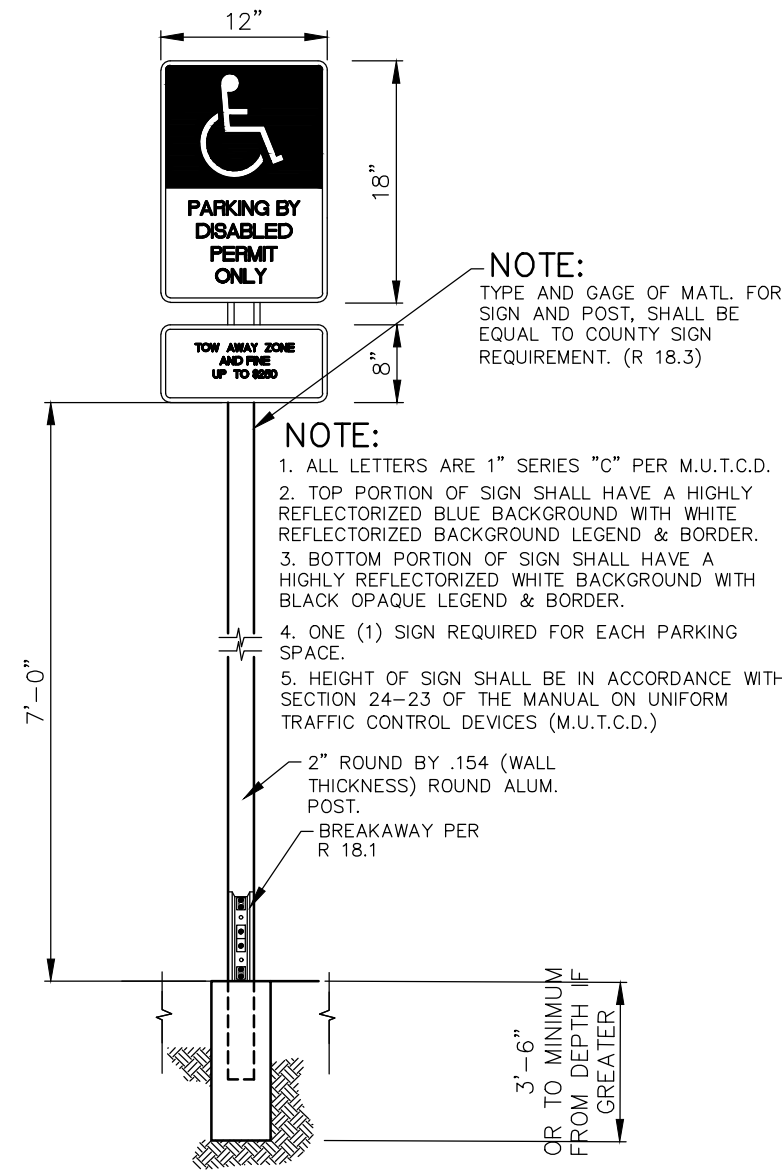


TURBIDITY AND EROSION CONTROL DETAILS

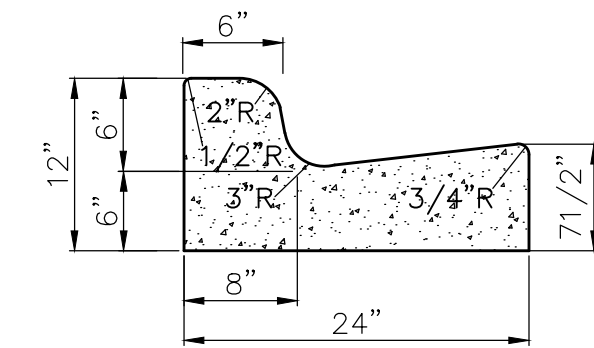
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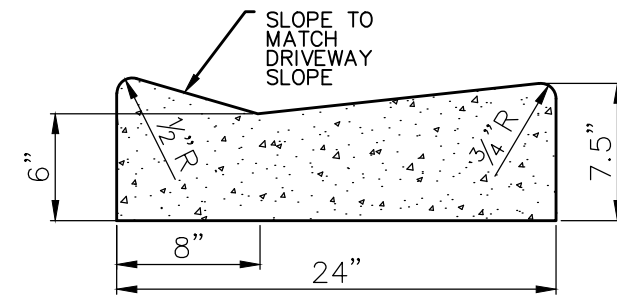
ACCESSIBLE PARKING SPACE FOR DADE COUNTY
TO MEET SFBC, METRO-DADE DPR, FS 553 & ADAAG N.T.S.
AND CITY OF MIAMI PWD



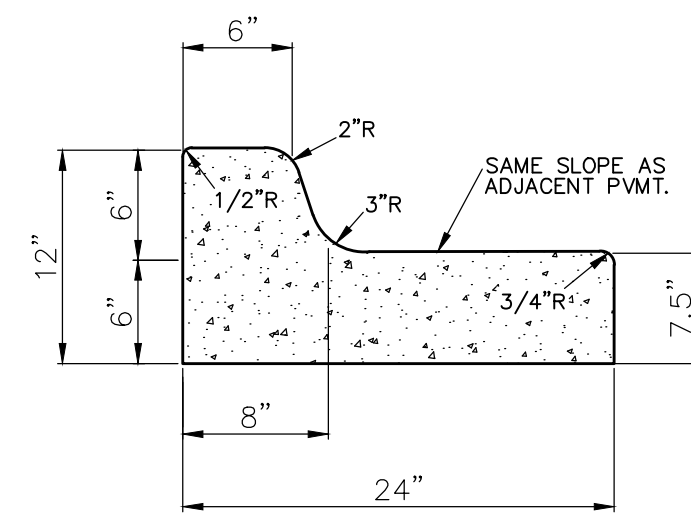
NOTE: CONTRACTOR SHALL VERIFY ALL THE REQUIRED INFORMATION NECESSARY AT EACH SIGN WITH LOCAL AUTHORITIES PRIOR TO PURCHASING.



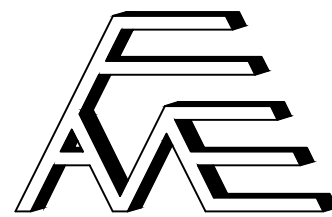
(TYPE "F") 6" CURB & GUTTER
N.T.S.



DRIVEWAY CURB
N.T.S.



TYPE "F" FOR MEDIAN CURB AND GUTTER.
N.T.S.



FORD ENGINEERS, INC.
1950 N.W. 94th AVENUE, 2nd FLOOR
MIAMI, FLORIDA 33172
PH. (305) 477-6472
FAX (305) 477-8054

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF FORD ENGINEERS, INC., WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY OWNER ON OTHER PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO FORD ENGINEERS, INC.

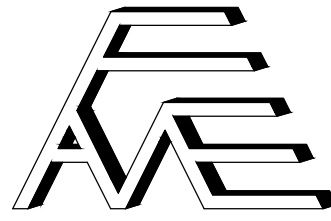
RECORD OF REVISION[illegible]

POINT ROYALE APARTMENTS

TYPE OF PROJECT: DETAILS
CLIENT: ACCAR. LTD

ROBERTO A. LAGE, P.E.:
FL. P.E. NO. 11995
CIVIL ENGINEER
SECTION 5, TOWNSHIP 56 SOUTH, RANGE 40 EAST
MIAMI, FL. 33132
PROJ. LOC.: MIAMI, FL. 33132
CLIENT ADDRESS: 56 N.E. 1st STREET
MIAMI, FL. 33132

SCALE:	AS SHOWN
DESIGNED BY:	R. LAGE
DRAWN BY:	A. MORGADO
CHECKED BY:	R. LAGE
SET #:	
DATE:	5/2/19
PROJECT No:	19-002
SHEET:	PD-6
	7 OF 7



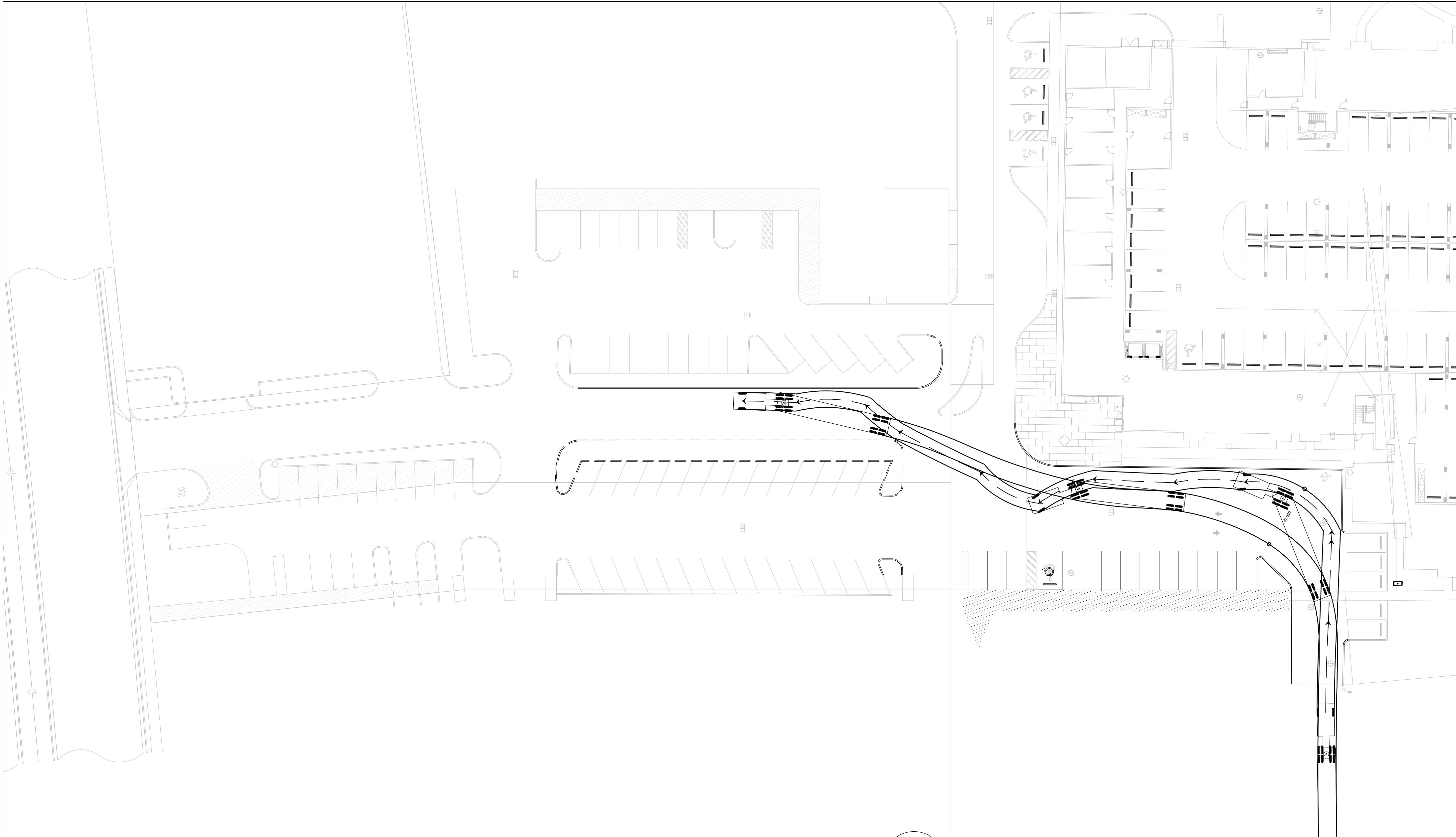
FORD ENGINEERS, INC.
1950 N.W. 94th AVENUE, 2nd FLOOR
DORAL, FLORIDA 33172
PH. (305) 477-6472
FAX (305) 470-2805

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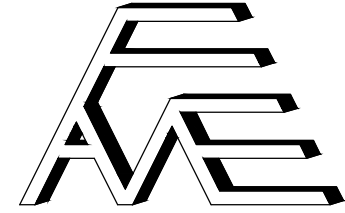
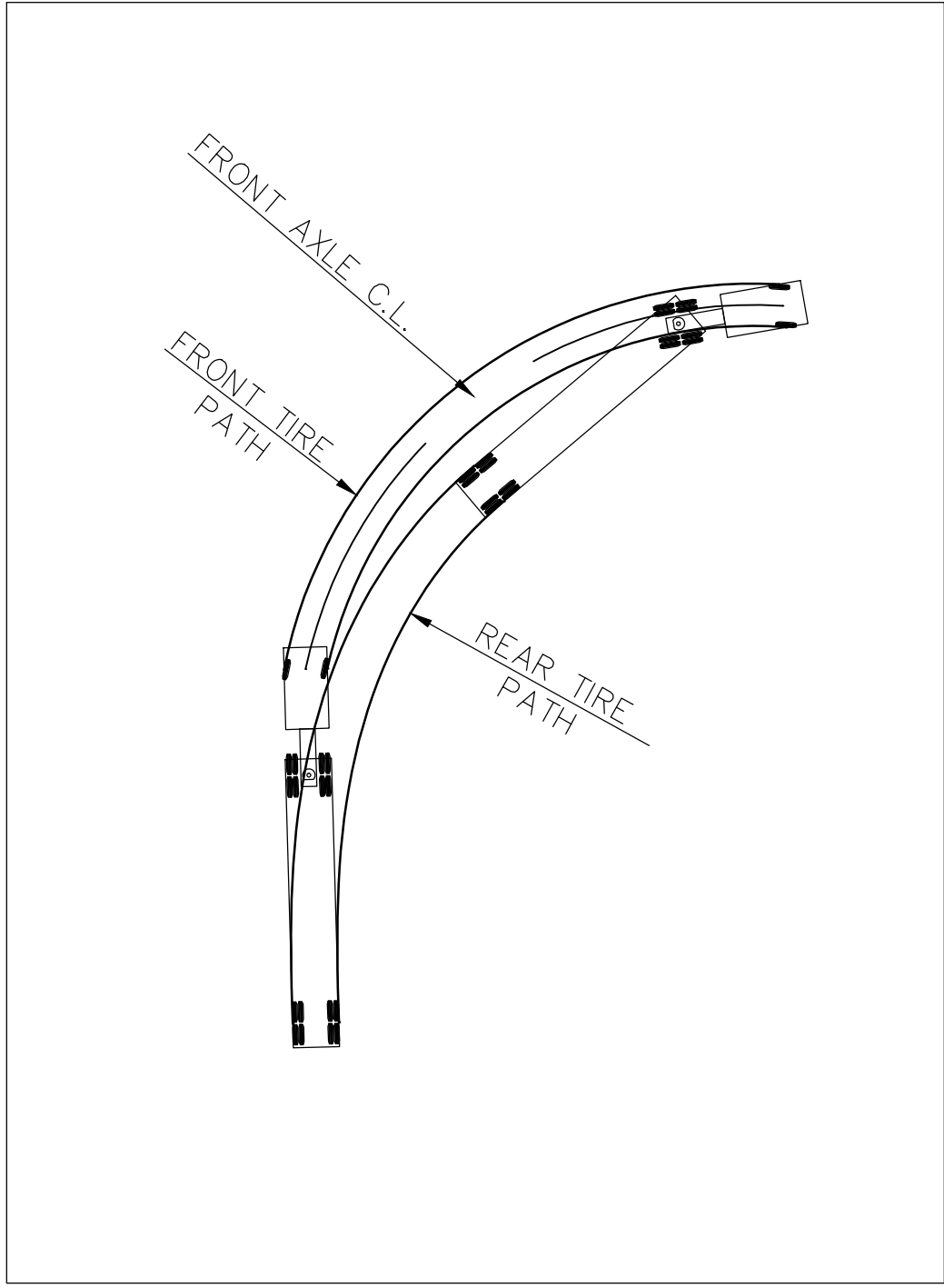
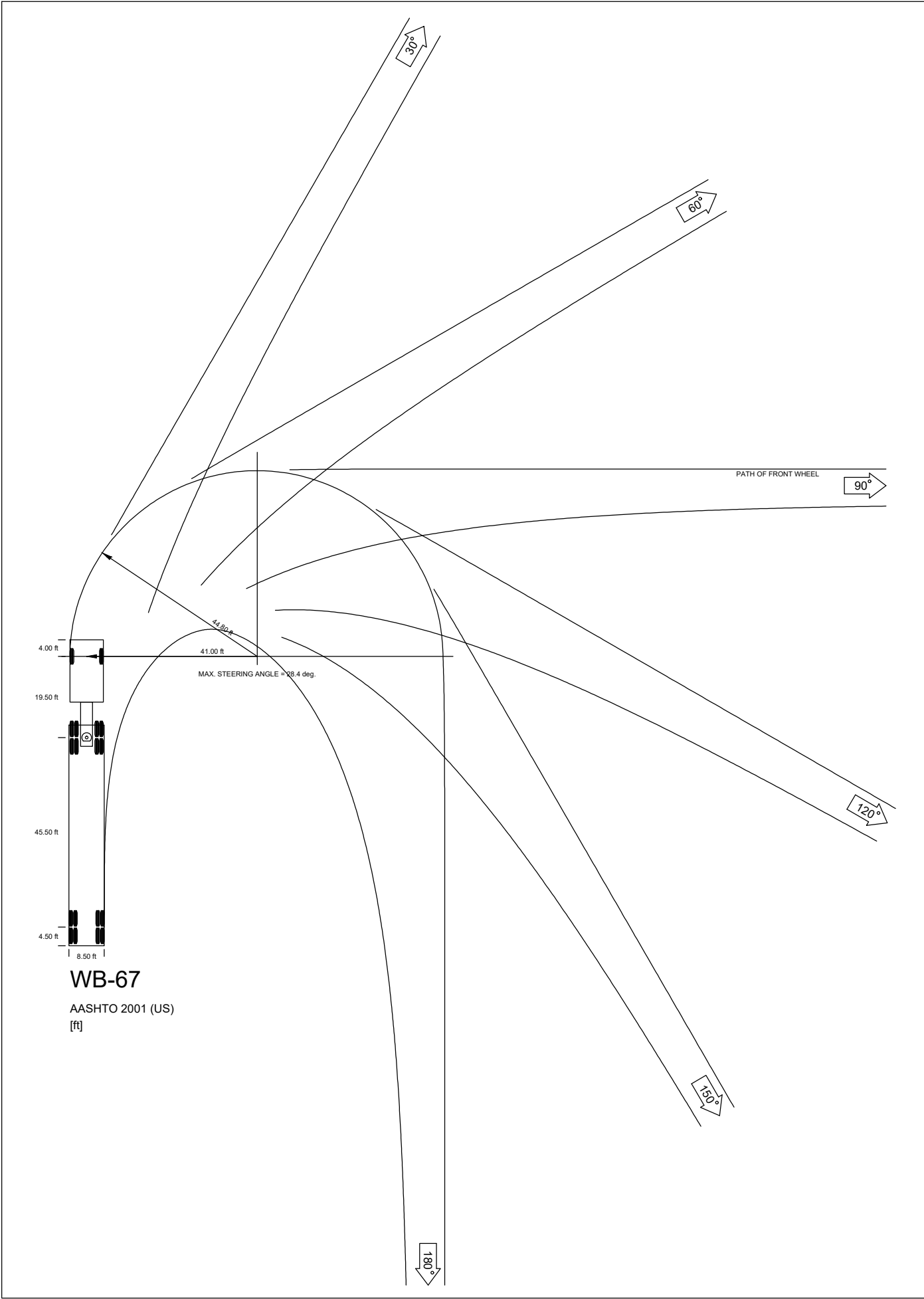
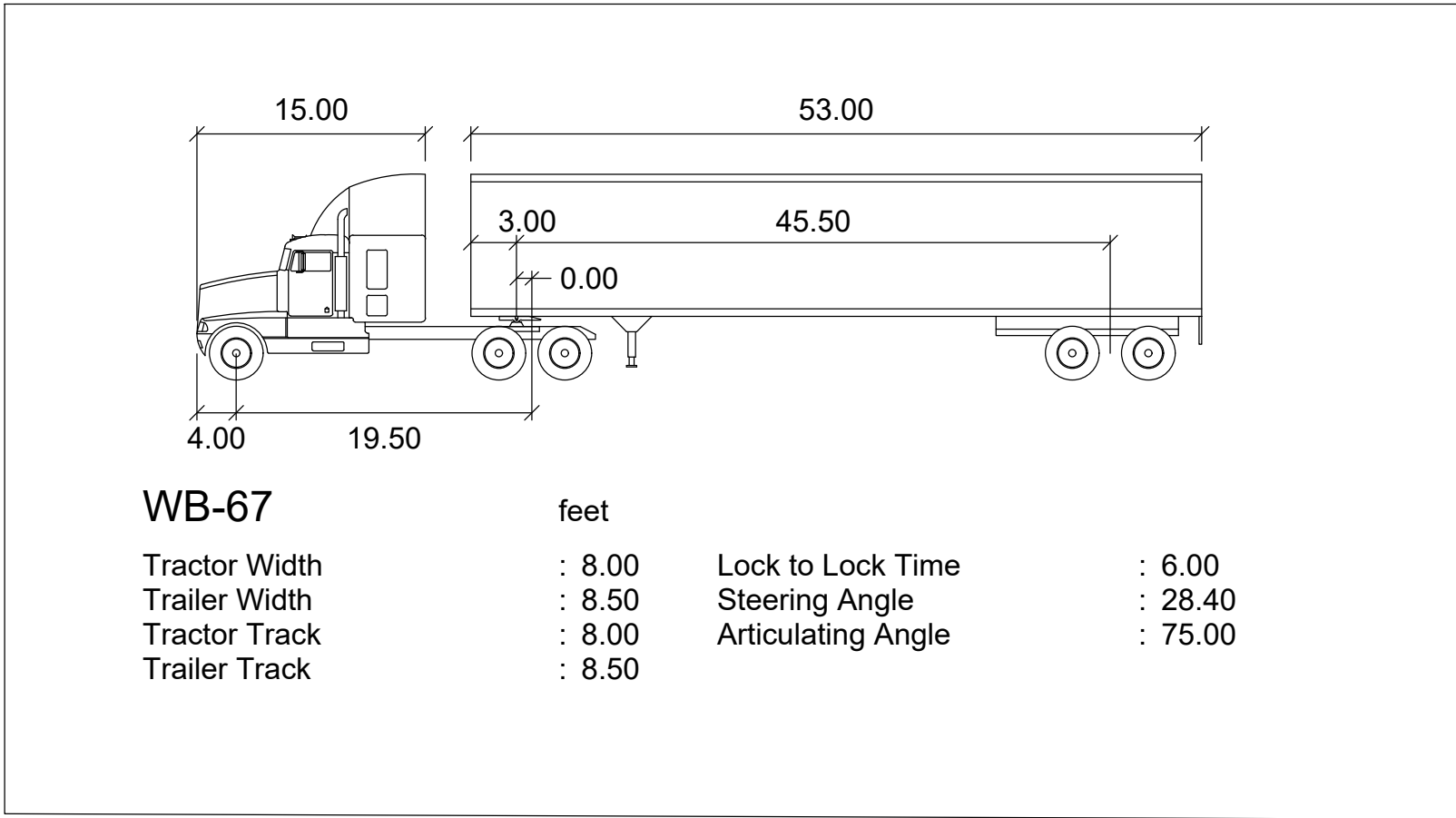
RECORD OF REVISION

BY	APP.	DESCRIPTION	No.	DATE
GG	RL	SITE PLAN UPDATE	1	5-1-19
GG	RL	SITE PLAN 4 UPDATE	2	5-8-19
GG	RL	SITE PLAN 5 UPDATE	3	5-8-19
GG	RL	SITE PLAN 9 UPDATE	4	11-5-19

Q:\FORD COMPANIES\Engineering & Surveying\Civil Engineering & Environmental\Drawings\Water & Sewer_Paving & Drainage\WORK IN PROGRESS\19-002 Point Royale Apartments\DRAWINGS\AutoTURN\19-002 POINT ROYALE Apartments\Drawings\Water & Sewer_Paving & Drainage\WORK IN PROGRESS\19-002 Point Royale Apartments\Drawings\AutoTURN\19-002 POINT ROYALE AutoTURN V5 (Site Plan 9).dwg Drawn by :AMORGADO Nov 06, 2019 - 10:20am



SCALE: 1" = 30'



FORD ENGINEERS, INC.
1950 N.W. 94th AVENUE, 2nd FLOOR
DORAL, FLORIDA 33172
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RECORD OF REVISION

BY	APP.	DESCRIPTION
GG	RL	SITE PLAN UPDATE
GG	RL	SITE PLAN 4 UPDATE
GG	RL	SITE PLAN 5 UPDATE
GG	RL	SITE PLAN 9 UPDATE

No.	DATE
1	5-1-19
2	5-8-19
3	5-8-19
4	11-5-19

No.	DATE
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4	11-5-19

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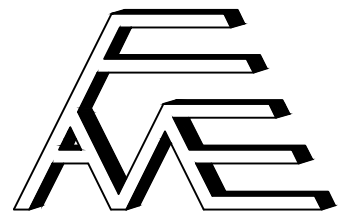
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FORD ENGINEERS, INC.
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MIAMI, FLORIDA 33172
PH. (305) 477-8472
FAX (305) 477-8054

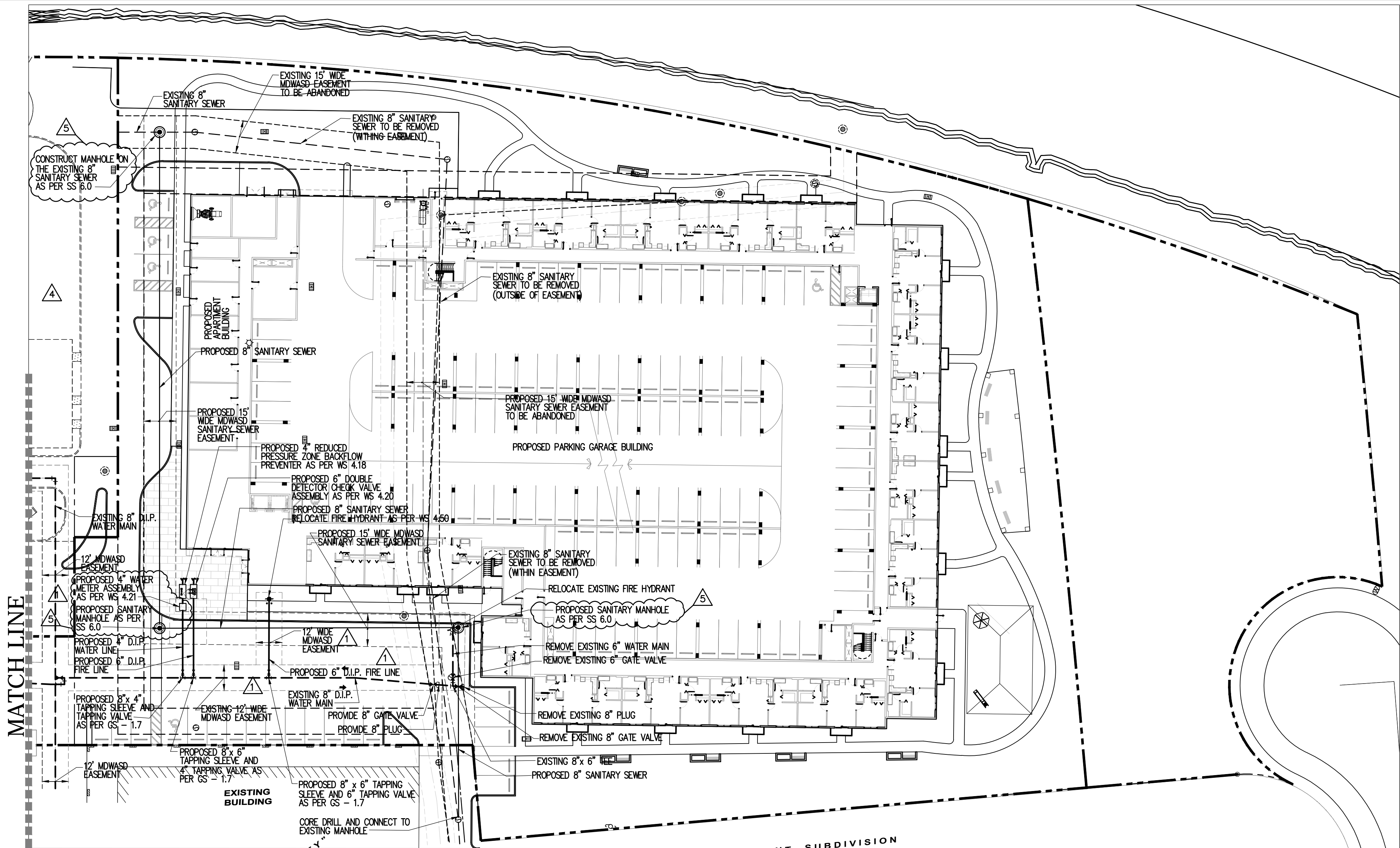
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RECORD OF REVISION

BY	APP.	DESCRIPTION	DATE
AM	RL	KCI COMMENT RESPONSES	8-7-19
AM	RL	REVISED SUBMITTAL	10-24-19
AM	RL	KCI COMMENT RESPONSES	10-30-19
AM	RL	KCI COMMENT RESPONSES	11-6-19
AM	RL	KCI COMMENT RESPONSES	11-7-19

POINT ROYALE APARTMENTS		WATER AND SEWER PLAN	
TYPE OF PROJECT:		ACCAR, LTD	
CLIENT:		CLIENT ADDRESS: 56 N.E. 1st STREET MIAMI, FL. 33132	
FOR THE CITY OF MIAMI BY: ROBERTO A. LAGE, P.E. FL. P.E. No. 51695 CERT. OF AUTHORIZATION No. 6821		PROJ. LOC.: SECTION 1, TOWNSHIP 56 SOUTH, RANGE 46 EAST MIAMI, FL. 33132	

SCALE:	1" = 20'
DESIGNED BY:	R. LAGE
DRAWN BY:	A. MORGADO
CHECKED BY:	R. LAGE
SET #:	
DATE:	03/27/19
PROJECT No:	19-002
SHEET:	WS-1 3 OF 3



WATER AND SEWER PLAN

SCALE: 1" = 30'

