

***Application No.: SP-2015-001***

***Variance No.: V-2015-021***

**Attachment "F"**

**Revised Site Plan**

**(Dated July 6, 2016)**

**Village of Old Cutler Corp.**

**A RESOLUTION OF THE MAYOR AND TOWN COUNCIL OF THE TOWN OF CUTLER BAY, FLORIDA, APPROVING A VARIANCE APPLICATION TO ARTICLE VII, SECTION 3-102 (F) (1) AND (4) OF THE TOWN CODE RELATING TO THE REQUIRED BUFFER AREAS FOR VILLAGE OF OLD CUTLER CORP LOCATED AT 36-6009-003-0310 AND 36-6009-003-0290; AND PROVIDING FOR AN EFFECTIVE DATE.**

# THE VILLAGE OF OLD CUTLER MIXED USE DEVELOPMENT

## N.E.C. OLD CUTLER ROAD & SW 87th AVENUE TOWN OF CUTLER BAY MIAMI-DADE COUNTY, FLORIDA

### ENGINEER'S CERTIFICATION:

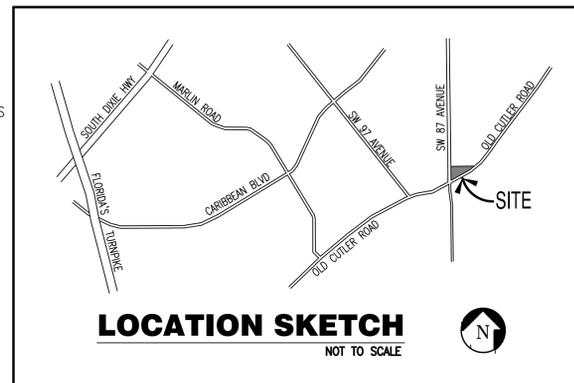
THIS PLAN WAS PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLIES WITH THE INTENT OF THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS, AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 72-328 F.S.

EDUARDO L. CARCACHE, PE 31914  
CKE GROUP, INC. COA-4432

### TOWN OF CUTLER BAY - ADOPTED LAND DEVELOPMENT REGULATIONS TABLE OF STANDARDS: (3-58(5))

REQUIREMENTS SHOWN ARE FOR NC-1 ZONING ONLY.

STANDARD	REQUIRED	PROVIDED 2 ST-CVS	PROVIDED 3 ST-BLDG	PROVIDED OVERALL
Minimum Lot Area (square feet)	NA	N/A	N/A	3.029 ACRES
Maximum Floor Area Ratio (FAR)	1.6	0.17	0.22	0.19
Maximum Floor Area Ratio with Green Bonus (FARG)	2	0.17	0.22	0.19
Maximum Density (units per acre)	15	N/A	11 UNITS/ACRE	5 UNITS/ACRE
Maximum Density with Green Bonus	30	N/A	11 UNITS/ACRE	5 UNITS/ACRE
Maximum Height (feet)	35	29'-9" @ TOP OF CUPOLA	35' @ TOP OF STAIR WELL	35'
Maximum Frontage Height with Green Bonus	48	N/A	N/A	N/A
Number of stories	3	2	3	3
Number of frontage stories with Green Bonus	4	2	3	3
Adjoining Residential Zoning (feet)	35	39'-1"	42'	42'
Number of stories	3	2	3	3
Building Frontage (percent)				
Along Primary Street 70 (Old Cutler)	70	44.54%	55.45%	54.80%
Along Secondary Street 50 (87 Ave.)	50	31.65%	N/A	31.65%
Principal Structure Setbacks (feet)				
Front (maximum)	20	6	3.5	6
Side Street	15	43.45'	270'	43.45'
Interior Side	0	-	-	-
Rear	20	162.00'	77.49'	77.49'
Rear (abutting an alley)	0	N/A	N/A	N/A
Setbacks Fronting Old Cutler Road when right-of-way is less than 100 feet, as measured from the edge of payment				
Front (minimum) - feet	12	N/A	N/A	N/A
Front (maximum) - feet	20	N/A	N/A	N/A
R/W 100 feet				
Maximum Impervious Surface Coverage (percent)	70	66.97%	64.31%	65.90%
Minimum Lot Width (residential) (feet)	25 NA	25	291'	439'
Minimum Lot Depth (feet)	NA NA	NA	N/A	N/A
Open Space (percent) in the form of courtyards, gardens, colonnade forecourt, balconies, plazas or squares	5	27.56%	24.05%	26.14%
Encroachment into ROW (Feet)				
Balcony	5	0	0	0
Awning	5	0	0	0
Accessory Structure Height (feet) Only permitted in rear yards of townhomes	6	N/A	N/A	N/A



**LEGAL DESCRIPTION:**

LOTS 1 THROUGH 13, LESS THE SOUTH 10 FEET IN BLOCK 14, AND LOTS 9 AND 10 IN BLOCK 14, LESS THE LANDS MORE PARTICULARLY DESCRIBED AS A STRIP OF LAND 10 FEET WIDE FOR THE RIGHT-OF-WAY OF INGRAHAM HIGHWAY ALONG THE SE'y BOUNDARY OF LOTS 9 AND 10, BLOCK 14 OF THE PLAT OF "TENELLA OCEAN FARMS ADDITION", AS SHOWN AND RECORDED IN PLAT BOOK 12, PAGE 40, PUBLICS RECORDS OF MIAMI-DADE COUNTY, FLORIDA. THE SAID STRIP OF LAND LYING ADJACENT TO, CONTIGUOUS WITH AND 10 FEET N'y, AT RIGHT ANGLES, TO THE NW'y BOUNDARY OF INGRAHAM HIGHWAY AS SHOWN ON THE ABOVE MENTIONED PLAT, BY TITLE OF THAT RIGHT-OF-WAY DEED FILED DECEMBER 8, 1941 IN DEED BOOK 2204, PAGE 19 ALL IN "TENELLA OCEAN FARMS ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 12, PAGE 40, OF THE PUBLICS RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

- BUILDING DEPT. NOTES:**
- APPLICANT TO SUBMIT DEED FOR PROPOSED 15 FOOT RIGHT OF WAY DEDICATION STRIP ALONG EAST SIDE OF NW 87TH AVE., OLD CUTLER RD. AND SW 200TH ST. PRIOR TO BUILDING PERMIT ISSUANCE.
  - PLANS MUST BE APPROVED BY DERM, WASD, FIRE DEPARTMENT PLUS A TREE REMOVAL PERMIT MUST BE OBTAINED PRIOR TO ISSUANCE OF BUILDING PERMIT.
  - COMPLIANCE WITH RECYCLING DIVERSION & CONSTRUCTION & DEMOLITION WASTE WILL BE AS FOLLOWS:
    - CDMMP PLAN TO BE PROVIDED PRIOR TO CONSTRUCTION.
    - INFORMATION FOR CDMMP COMPLIANCE WILL BE PROVIDED PRIOR TO CONSTRUCTION.
    - PROVIDE PROPOSED WEIGHT OF DEMOLITION & CONST. DEBRIS ON PLANS.
  - PROPERTY MAINTENANCE ENTITY WILL BE IDENTIFIED & CONTACT INFO. WILL BE PROVIDED TO THE TOWN BUILDING OFFICIAL PRIOR TO BUILDING PERMIT ISSUANCE.
  - G.C. MUST PROVIDE COLORED CONCRETE FOR SIDEWALKS & CURB/GUTTER ALONG OLD CUTLER ROAD CORRIDOR. COLORS ARE AS FOLLOWS:
    - INTEGRALLY-COLORED CONCRETE LAMBERT- CORAL GABLES BEIGE.
    - INTEGRALLY-COLORED CONCRETE LAMBERT- MESA BUFF (3 LBS.)
  - UNITY OF TITLE TO COMBINE. BOTH FOLIO NUMBERS WILL BE PROVIDED PRIOR TO BUILDING PERMIT.

### TENANT:

**CVS**  
ONE CVS DRIVE  
WOONSOCKET, RHODE ISLAND 02895  
(954) 924-2042  
ATTN: RAFAEL SALDAMANDO

### DEVELOPER:

**BOOS DEVELOPMENT GROUP**  
2651 McCORMICK DRIVE  
CLEARWATER, FLORIDA 33759  
(727) 669-2700  
ATTN: PAUL TREMBLAY

### ARCHITECTS:

**CVS:**  
**CKE GROUP, INC.**  
15500 NEW BARN ROAD, SUITE 106  
MIAMI LAKES, FLORIDA 33014  
(305) 558-4124  
ATTN: EDUARDO L. CARCACHE

### 3 STORY MIXED USE, VILLAGE OF OLD CUTLER: OCTAVIO A. SANTURIO

6262 BIRD RD., SUITE 3E  
MIAMI, FLORIDA 33156  
(305) 665-8844  
ATTN: OCTAVIO SANTURIO

### ENGINEER:

**CKE GROUP, INC.**  
15500 NEW BARN ROAD, SUITE 106  
MIAMI LAKES, FLORIDA 33014  
(305) 558-4124  
ATTN: EDUARDO L. CARCACHE

### SURVEYOR:

**FORTIN, LEAVY, SKILES, INC.**  
180 NE 168TH STREET  
NORTH MIAMI BEACH, FLORIDA 33162  
(305) 653-4493

### LANDSCAPE:

**RICHARD BARTLETT  
LANDSCAPE, INC.**  
12773 W. FOREST HILL BLVD. SUITE 213  
WELLINGTON, FLORIDA 33414  
(561) 795-0443  
ATTN: RICHARD BARTLETT

### SITE LOCATION INFORMATION:

- JURISDICTION: CUTLER BAY, FLORIDA
- ADDRESS: OLD CUTLER & S.W. 87TH AVE.
- EXISTING ZONING DESIGNATION: NC-1
- SITE AREA: 158,736.00 S.F. (3.644 Ac.)
- BUILDING AREA: 56,387.52 S.F.
- APPLICABLE CODES: FLORIDA BUILDING CODE - 2014  
FFPC - 2014
- TYPE OF CONSTRUCTION: TYPE II-B (SPRINKLERED)
- OCCUPANCY CLASSIFICATION: MIXED USE (DRUGSTORE, RETAIL & RESIDENTIAL APARTMENTS)
- BUILDING HEIGHT: CVS: 29'-9" / MIXED USE BUILDING: 35'-0"
- FEMA FLOOD ZONE: ZONE X
- SITE CALCULATIONS:

GROSS SITE AREA: 158,736.00 S.F. (3.644 Ac.)

**TOTAL BUILDING AREA:**  
CVS: 2 STORY 15,852.00 S.F.  
MIXED USE, RETAIL/  
RESIDENTIAL: 3 STORY 40,535.52 S.F.

**LANDSCAPED AREAS: (MIN. REQUIRED 15% OF AREA)**  
TOTAL LANDSCAPED AREAS: 35,094.0 SQ. FT. (26.59% OF SITE AREA)

**PAVED AREAS:**  
TOTAL PAVED AREA & WALKS: 60,993.78 SQ. FT. (46.22%)  
PERVIOUS CONC. (VEHICULAR): 9,906.00 SQ. FT. (7.51%)  
TOTAL PAVED AREAS: 70,899.78 SQ. FT. (53.73%)

**SUMMARY OF AREAS AT GROUND:**  
\* TOTAL BUILDING FOOTPRINTS: 25,970.00 SQ. FT. (19.68%)  
TOTAL PERVIOUS AREA: 45,000.00 SQ. FT. (34.10%)  
TOTAL IMPERVIOUS AREA: 60,993.78 SQ. FT. (46.22%)  
TOTAL SITE AREA: 131,963.78 SQ. FT. (100% OF SITE AREA)

\* BUILDING FOOTPRINT CALCULATED AS PART OF IMPERVIOUS AREA

### INDEX OF DRAWINGS:

- COVER SHEET**  
**SURVEY**
- C-0** OVERALL SITE PLAN
  - C-0.1** AERIAL PLAN
  - C-0T2** WB50 TRUCK MANEUVERABILITY PLAN
  - C-1** SITE PLAN (CVS PHASE I)
  - C-1.1** SITE PLAN (PHASE II)
  - C-2** PAVING & DRAINAGE PLAN (CVS PHASE I)
  - C-2.1** PAVING & DRAINAGE PLAN (PHASE II)
  - C-3** UTILITY PLAN (CVS PHASE I)
  - C-3.1** UTILITY PLAN (PHASE II)
  - C-4** SITE DETAILS
  - C-5** SITE DETAILS
  - C-6** POLLUTION PREVENTION DETAILS
  - C-7** SITE CROSS SECTIONS
  - CE-1** SITE LIGHTING PLAN
  - SG-1** SITE SIGNAGE PLAN
- L-1** LANDSCAPE PLAN  
**L-2** TREE DISPOSITION PLAN  
**L-3** LANDSCAPE AND IRRIGATION SPECIFICATIONS

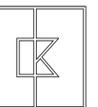
- CVS**
- A-1.0** CVS FLOOR PLAN
  - A-2.0** CVS BUILDING ELEVATIONS

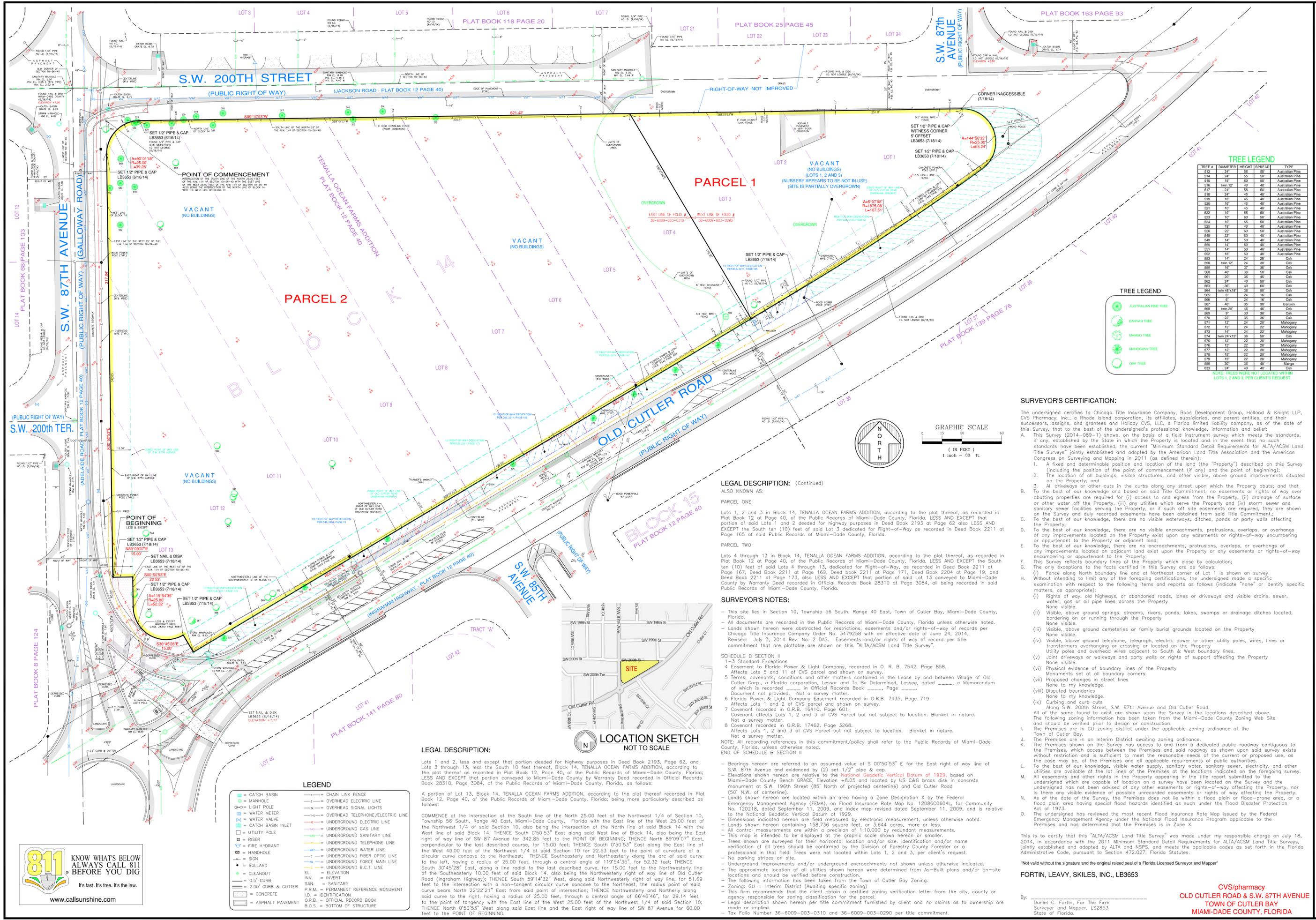
- MIXED USE**
- A-2** GROUND FLOOR PLAN
  - A-3** SECOND FLOOR PLAN
  - A-4** THIRD FLOOR PLAN
  - A-5** ROOF FLOOR PLAN
  - A-6** ELEVATIONS
  - A-7** ELEVATIONS
  - A-8** TYPICAL UNITS
  - A-9** TYPICAL UNITS

REVISIONS:

- 1 07-13-15
- 2 09-03-15
- 3 10-06-15
- 4 11-16-15
- 5 01-18-16
- 6 02-22-16
- 7 03-21-16
- 8 05-02-16
- 9 05-23-16
- 10 06-01-16
- 11 06-23-16
- 12 07-06-16

**CKE GROUP**  
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**LEGEND**

	CATCH BASIN		CHAIN LINK FENCE
	MANHOLE		OVERHEAD ELECTRIC LINE
	LIGHT POLE		OVERHEAD SIGNAL LIGHTS
	WATER METER		OVERHEAD TELEPHONE/ELECTRIC LINE
	WATER VALVE		UNDERGROUND ELECTRIC LINE
	CATCH BASIN INLET		UNDERGROUND GAS LINE
	UTILITY POLE		UNDERGROUND SANITARY LINE
	RISER		UNDERGROUND TELEPHONE LINE
	FIRE HYDRANT		UNDERGROUND WATER LINE
	HANDHOLE		UNDERGROUND FIBER OPTIC LINE
	INVERT		UNDERGROUND FORCE MAIN LINE
	SIGN		UNDERGROUND B.C.T. LINE
	BOLLARD		ELEVATION
	CLEANOUT		INVERT
	0.5' CURB & GUTTER		SANITARY
	2.0' CURB & GUTTER		PERMANENT REFERENCE MONUMENT
	CONCRETE		IDENTIFICATION
	ASPHALT PAVEMENT		OFFICIAL RECORD BOOK
			BOTTOM OF STRUCTURE

**LEGAL DESCRIPTION:**  
Lots 1 and 2, less and except that portion deeded for highway purposes in Deed Book 2193, Page 62, and Lots 3 through 13, less South 10 feet thereof, Block 14, TENALLA OCEAN FARMS ADDITION, according to the plat thereof as recorded in Plat Book 12, Page 40, of the Public Records of Miami-Dade County, Florida; LESS AND EXCEPT that portion conveyed to Miami-Dade County by Warranty Deed recorded in Official Records Book 28310, Page 3084, of the Public Records of Miami-Dade County, Florida, as follows:  
A portion of Lot 13, Block 14, TENALLA OCEAN FARMS ADDITION, according to the plat thereof recorded in Plat Book 12, Page 40, of the Public Records of Miami-Dade County, Florida; being more particularly described as follows:  
COMMENCE at the intersection of the South line of the North 25.00 feet of the Northwest 1/4 of Section 10, Township 56 South, Range 40 East, Miami-Dade County, Florida with the East line of the West 25.00 feet of the Northwest 1/4 of said Section 10, also being the intersection of the North line of said Block 14 with the West line of said Block 14; THENCE South 0°50'53" East along said West line of Block 14, also being the East right of way line of SW 87 Avenue for 342.85 feet to the POINT OF BEGINNING; THENCE North 89°09'07" East, perpendicular to the last described course, for 15.00 feet; THENCE South 0°50'53" East along the East line of the West 40.00 feet of the Northwest 1/4 of said Section 10, for 22.53 feet to the point of tangency of a circular curve concave to the Northeast; THENCE Southwesterly and Northerly along the arc of said curve to the left, having a radius of 25.00 feet, through a central angle of 119°54'35", for 52.32 feet; THENCE South 30°45'28" East, along a line radial to the last described curve, for 15.00 feet to the Northwestly line of the Southeastly 10.00 feet of said Block 14, also being the Northwestly right of way line of Old Cutler Road (Ingraham Highway); THENCE South 59°14'32" West, along said Northwestly right of way line, for 51.69 feet to the intersection with a non-tangent circular curve concave to the Northeast, the radius point of said curve bears North 22°22'21" East from said point of intersection; THENCE Northwesterly and Northerly along said curve to the right, having a radius of 25.00 feet, through a central angle of 66°46'46", for 29.14 feet to the point of tangency with the East line of the West 25.00 feet of the Northwest 1/4 of said Section 10; THENCE North 0°50'53" West along said East line and the East right of way line of SW 87 Avenue for 60.00 feet to the POINT OF BEGINNING.

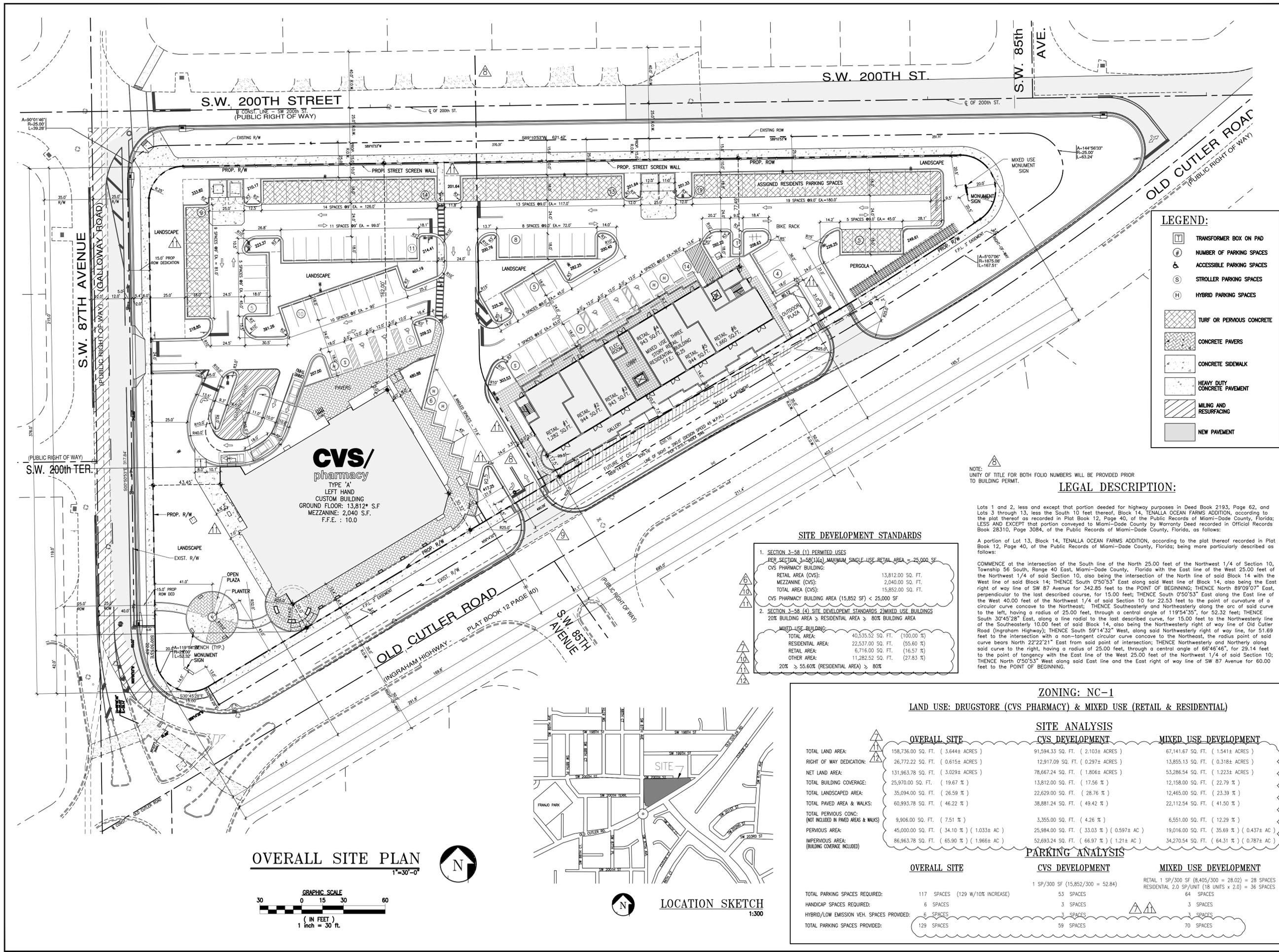


**LEGAL DESCRIPTION:** (Continued)  
ALSO KNOWN AS:  
PARCEL ONE:  
Lots 1, 2 and 3 in Block 14, TENALLA OCEAN FARMS ADDITION, according to the plat thereof, as recorded in Plat Book 12, Page 40, of the Public Records of Miami-Dade County, Florida, LESS AND EXCEPT that portion of said Lots 2 and 3 deeded for highway purposes in Deed Book 2193 at Page 62 also LESS AND EXCEPT the South ten (10) feet of said Lot 3 dedicated for Right-of-Way as recorded in Deed Book 2211 at Page 165 of said Public Records of Miami-Dade County, Florida.  
PARCEL TWO:  
Lots 4 through 13 in Block 14, TENALLA OCEAN FARMS ADDITION, according to the plat thereof, as recorded in Plat Book 12, Page 40, of the Public Records of Miami-Dade County, Florida, LESS AND EXCEPT the South ten (10) feet of said Lots 4 through 13, dedicated for Right-of-Way, as recorded in Deed Book 2211 at Page 167; Deed Book 2211 at Page 169; Deed Book 2211 at Page 171; Deed Book 2204 at Page 19, and Deed Book 2211 at Page 173, also LESS AND EXCEPT that portion of said Lot 13 conveyed to Miami-Dade County by Warranty Deed recorded in Official Records Book 28310 at Page 3084, all being recorded in said Public Records of Miami-Dade County, Florida.

**SURVEYOR'S NOTES:**  
- This site lies in Section 10, Township 56 South, Range 40 East, Town of Cutler Bay, Miami-Dade County, Florida.  
- All documents are recorded in the Public Records of Miami-Dade County, Florida unless otherwise noted.  
- Lands shown hereon were abstracted for restrictions, easements and/or rights-of-way of records per Chicago Title Insurance Company Order No. 3479258 with an effective date of June 24, 2014.  
- Revised: July 3, 2014 Rev. No. 2 DAS. Easements and/or rights of way of record per title commitment that are platable are shown on this "ALTA/ACSM Land Title Survey".  
**SCHEDULE B SECTION II**  
1-3 Standard Exceptions  
4 Easement to Florida Power & Light Company, recorded in O. R. B. 7542, Page 858.  
5 Terms, covenants, conditions and other matters contained in the Lease by and between Village of Old Cutler Corp., a Florida corporation, Lessor and To Be Determined, Lessee, dated \_\_\_\_\_, a Memorandum of which is recorded \_\_\_\_\_ in Official Records Book \_\_\_\_\_ Page \_\_\_\_\_. Document not provided. Not a survey matter.  
6 Florida Power & Light Company Easement recorded in O.R.B. 7435, Page 719.  
Affects Lots 1 and 2 of CVS parcel and shown on survey.  
7 Covenant recorded in O.R.B. 16410, Page 601.  
Covenant affects Lots 1, 2 and 3 of CVS Parcel but not subject to location. Blanket in nature. Not a survey matter.  
8 Covenant recorded in O.R.B. 17462, Page 3268.  
Affects Lots 1, 2 and 3 of CVS Parcel but not subject to location. Blanket in nature. Not a survey matter.  
**NOTE:** All recording references in this commitment/policy shall refer to the Public Records of Miami-Dade County, Florida, unless otherwise noted.  
**END OF SCHEDULE B SECTION II**

- Bearings hereon are referred to an assumed value of S 0°50'53" E for the East right of way line of S.W. 87th Avenue and evidenced by (2) set 1/2" pipe & cap.  
- Elevations shown hereon are relative to the National Geodetic Vertical Datum of 1929, based on Miami-Dade County Bench GRADE, Elevation +8.05 and located by US C&G brass disk in concrete monument at S.W. 196th Street (85' North of projected centerline) and Old Cutler Road (50' N.W. of centerline).  
- Lands shown hereon are located within an area having a Zone Designation X by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 12086C0604L, for Community No. 120218, dated September 11, 2009, and index map revised dated September 11, 2009, and is relative to the National Geodetic Vertical Datum of 1929.  
- Dimensions indicated hereon are field measured by electronic measurement, unless otherwise noted.  
- Lands shown hereon containing 158,736 square feet, or 3.644 acres, more or less.  
- All control measurements are within a precision of 1:10,000 by redundant measurements.  
- This map is intended to be displayed at the graphic scale shown hereon or smaller.  
- Trees shown are surveyed for their horizontal location and/or size. Identification and/or name verification of all trees should be confirmed by the Division of Forestry County Forester or a professional in that field. Trees were not located within Lots 1, 2 and 3, per client's request.  
- No parking stripes on site.  
- Underground improvements and/or underground encroachments not shown unless otherwise indicated.  
- The approximate location of all utilities shown hereon were determined from As-Built plans and/or on-site locations and should be verified before construction.  
- The following information has been taken from the Town of Cutler Bay Zoning.  
Zoning: OU = Interim District (Awaiting specific zoning).  
- This firm recommends that the client obtain a certified zoning verification letter from the city, county or agency responsible for zoning classification for the parcel.  
- Legal description shown hereon per title commitment furnished by client and no claims as to ownership are made or implied.  
- Tax Folio Number 36-6009-003-0310 and 36-6009-003-0290 per title commitment.

**SURVEYOR'S CERTIFICATION:**  
The undersigned certifies to Chicago Title Insurance Company, Boos Development Group, Holland & Knight LLP, CVS Pharmacy, Inc., a Rhode Island corporation, its affiliates, subsidiaries, and parent entities, and their successors, assigns, and grantees and Holiday CVS, LLC, a Florida limited liability company, as of the date of this Survey, that to the best of the undersigned's professional knowledge, information and belief:  
A. This Survey (2014-089-1) shows, on the basis of a field instrument survey which meets the standards, if any, established by the State in which the Property is located and in the event that no such standards have been established, the current "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys" jointly established and adopted by the American Land Title Association and the American Congress on Surveying and Mapping in 2011 (as defined therein);  
1. A fixed and determinable position and location of the land (the "Property") described on this Survey (including the position of the point of commencement (if any) and the point of beginning);  
2. The location of all buildings, visible structures, and other visible, above ground improvements situated on the Property; and  
3. All driveways or other cuts in the curbs along any street upon which the Property abuts; and that to the best of our knowledge and based on said Title Commitment, no easements or rights of way over abutting properties are required for (i) access to and egress from the Property, (ii) drainage of surface or other water off the Property, (iii) any utilities which serve the Property and (iv) storm sewer and sanitary sewer facilities serving the Property, or if such off site easements are required, they are shown on the Survey and duly recorded easements have been obtained from said Title Commitment;  
B. To the best of our knowledge, there are no visible encroachments, protrusions, overlaps, or overhangs to any improvements located on the Property exist upon any easements or rights-of-way encumbering or appurtenant to the Property or adjacent land;  
C. To the best of our knowledge, there are no encroachments, protrusions, overlaps, or overhangs of any improvements located on adjacent land exist upon the Property or any easements or rights-of-way encumbering or appurtenant to the Property;  
D. This Survey reflects boundary lines of the Property which close by calculation;  
E. The only exceptions to the facts certified in this Survey are as follows:  
(i) Fence along North boundary line and at Northeast corner of Lot 1 is shown on survey.  
F. Without intending to limit any of the foregoing certifications, the undersigned made a specific examination with respect to the following items and reports as follows (indicate "none" or identify specific matters, as appropriate):  
(i) Rights of way, old highways, or abandoned roads, lanes or driveways and visible drains, sewer, water, gas or oil pipe lines across the Property  
None visible.  
(ii) Visible, above ground springs, streams, rivers, ponds, lakes, swamps or drainage ditches located, bordering on or running through the Property  
None visible.  
(iii) Visible, above ground cemeteries or family burial grounds located on the Property  
None visible.  
(iv) Visible, above ground telephone, telegraph, electric power or other utility poles, wires, lines or transformers overhanging or crossing or located on the Property  
Utility poles and overhead wires adjacent to South & West boundary lines.  
(v) Joint driveways or walkways or party walls or rights of support affecting the Property  
None visible.  
(vi) Physical evidence of boundary lines of the Property  
Monuments set at all boundary corners.  
(vii) Proposed changes in street lines  
None to my knowledge.  
(viii) Disputed boundaries  
None to my knowledge.  
(ix) Curbing and curb cuts  
Along S.W. 200th Street, S.W. 87th Avenue and Old Cutler Road.  
All of the same found to exist as shown upon the Survey in the locations described above. The following zoning information has been taken from the Miami-Dade County Zoning Web Site and should be verified prior to design or construction.  
The Premises are in GU zoning district under the applicable zoning ordinance of the Town of Cutler Bay.  
J. The Premises are in an Interim District awaiting zoning ordinance.  
K. The Premises shown on the Survey has access to and from a dedicated public roadway contiguous to the Premises, which access between the Premises and said roadway as shown upon said survey exists without restriction and is sufficient to meet the reasonable needs of the current or proposed use, as the case may be, of the Premises and all applicable requirements of public authorities.  
L. To the best of our knowledge, visible water supply, sanitary water, electricity, and other utilities are available at the lot lines of the Premises at the locations indicated on the foregoing survey.  
M. All easements and other rights in the Property appearing in the title report submitted to the undersigned which are capable of location on a survey have been located on the Survey and the undersigned has not been advised of any other easements or rights-of-way affecting the Property, nor is there any visible evidence of possible unrecorded easements or rights of way affecting the Property.  
N. As of the date of the Survey, the Premises does not lie within a flood plain or flood-prone area, or a flood plain area having special flood hazards identified as such under the Flood Disaster Protection Act of 1973.  
O. The undersigned has reviewed the most recent Flood Insurance Rate Map issued by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 12086C0604L, for Community No. 120218, dated September 11, 2009, and index map revised dated September 11, 2009, and is relative to the National Geodetic Vertical Datum of 1929.  
P. Dimensions indicated hereon are field measured by electronic measurement, unless otherwise noted.  
Q. The undersigned has reviewed the most recent Flood Insurance Rate Map issued by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 12086C0604L, for Community No. 120218, dated September 11, 2009, and index map revised dated September 11, 2009, and is relative to the National Geodetic Vertical Datum of 1929.  
R. The Premises are in GU zoning district under the applicable zoning ordinance of the Town of Cutler Bay.  
S. The Premises are in an Interim District awaiting zoning ordinance.  
T. The Premises shown on the Survey has access to and from a dedicated public roadway contiguous to the Premises, which access between the Premises and said roadway as shown upon said survey exists without restriction and is sufficient to meet the reasonable needs of the current or proposed use, as the case may be, of the Premises and all applicable requirements of public authorities.  
U. To the best of our knowledge, visible water supply, sanitary water, electricity, and other utilities are available at the lot lines of the Premises at the locations indicated on the foregoing survey.  
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**CVS pharmacy**  
 FLORIDA COASTAL  
 14,600-CUSTOM BUILDING  
 WITH CHAMFER DRIVE-THRU  
 STORE NUMBER: **3764**  
 NEC OLD CUTLER ROAD & SW 87th AVENUE  
 CUTLER BAY, FLORIDA  
 PROJECT TYPE:  
 DEAL TYPE: **NEW**  
 CS PROJECT NUMBER: **62112**

**ARCHITECT OF RECORD**  
  
**CKE GROUP INCORPORATED**  
 engineering • architecture • planning  
 15500 NEW BARN ROAD  
 SUITE 106  
 MIAMI LAKES, FLORIDA 33014  
 PHONE: (305) 558-4124 FAX: (305) 826-0619  
 EB#0004432

**CONSULTANT:**

**DEVELOPER:**  
  
**BOOS DEVELOPMENT GROUP**  
 2651 MCCORMICK DR  
 CLEARWATER, FLORIDA 33759  
 (727) 669-2900  
 Fax (727) 669-2915

**SEAL:**  
 EDUARDO L. CARCACHÉ, PE 31914  
 CKE GROUP, INC. COA-4432

**REVISIONS:**

1	07-13-15	09-03-15
2	10-06-15	CITY COMMENTS
3	11-16-15	
4	01-18-16	
5	02-22-16	CITY COMMENTS
6	03-21-16	SITE PLAN SUBMT
7	05-02-16	SITE PLAN SUBMT
8	05-20-16	SITE PLAN WRKSH
9	06-01-16	SITE PLAN WRKSH
10	06-23-16	SITE PLAN WRKSH
11	07-06-16	SITE PLAN SUBM

DRAWING BY: A.V.  
 DATE: 07-13-2015  
 JOB NUMBER: CKE # 1302  
 TITLE: CVS PHARMACY OVERALL SITE PLAN  
 SHEET NUMBER: C-0  
 COMMENTS:

- LEGEND:**
- TRANSFORMER BOX ON PAD
  - NUMBER OF PARKING SPACES
  - ACCESSIBLE PARKING SPACES
  - STROLLER PARKING SPACES
  - HYBRID PARKING SPACES
  - TURF OR PERVIOUS CONCRETE
  - CONCRETE PAVERS
  - CONCRETE SIDEWALK
  - HEAVY DUTY CONCRETE PAVEMENT
  - MILLING AND RESURFACING
  - NEW PAVEMENT

**LEGAL DESCRIPTION:**  
 A portion of Lot 13, Block 14, TENALLA OCEAN FARMS ADDITION, according to the plat thereof recorded in Plat Book 12, Page 40, of the Public Records of Miami-Dade County, Florida; being more particularly described as follows:  
 COMMENCE at the intersection of the South line of the North 25.00 feet of the Northwest 1/4 of Section 10, Township 56 South, Range 40 East, Miami-Dade County, Florida with the East line of the West 25.00 feet of the Northwest 1/4 of said Section 10, also being the intersection of the North line of said Block 14 with the West line of said Block 14; THENCE South 0°50'53" East along said West line of Block 14, also being the East right of way line of SW 87 Avenue for 342.85 feet to the POINT OF BEGINNING; THENCE North 89°09'07" East, perpendicular to the last described course, for 15.00 feet; THENCE South 0°50'53" East along the East line of the West 40.00 feet of the Northwest 1/4 of said Section 10 for 22.53 feet to the point of curvature of a circular curve concave to the Northeast; THENCE Southeasterly and Northeasterly along the arc of said curve to the left, having a radius of 25.00 feet, through a central angle of 119°54'35", for 52.32 feet; THENCE South 30°45'28" East, along a line radial to the last described curve, for 15.00 feet to the Northwesterly line of the Southeasterly 10.00 feet of said Block 14, also being the Northwesterly right of way line of Old Cutler Road (Ingraham Highway); THENCE South 59°14'32" West, along said Northwesterly right of way line, for 51.69 feet to the intersection with a non-tangent circular curve concave to the Northeast; the radius point of said curve bears North 22°22'21" East from said point of intersection; THENCE Northwesterly and Northerly along said curve to the right, having a radius of 25.00 feet, through a central angle of 66°46'46", for 29.14 feet to the point of tangency with the East line of the West 25.00 feet of the Northwest 1/4 of said Section 10; THENCE North 0°50'53" West along said East line and the East right of way line of SW 87 Avenue for 60.00 feet to the POINT OF BEGINNING.

**SITE DEVELOPMENT STANDARDS**

- SECTION 3-58 (1) PERMITTED USES  
 PER SECTION 3-58(1)(G) MAXIMUM SINGLE USE RETAIL AREA = 25,000 SF  
 CVS PHARMACY BUILDING:  
 RETAIL AREA (CVS): 13,812.00 SQ. FT.  
 MEZZANINE (CVS): 2,040.00 SQ. FT.  
 TOTAL AREA (CVS): 15,852.00 SQ. FT.  
 CVS PHARMACY BUILDING AREA (15,852 SF) < 25,000 SF
- SECTION 3-58 (4) SITE DEVELOPMENT STANDARDS MIXED USE BUILDINGS  
 20% BUILDING AREA > RESIDENTIAL AREA > 80% BUILDING AREA  
 MIXED USE BUILDING:  
 TOTAL AREA: 40,535.52 SQ. FT. (100.00 %)  
 RESIDENTIAL AREA: 22,537.00 SQ. FT. (55.60 %)  
 RETAIL AREA: 6,716.00 SQ. FT. (16.57 %)  
 OTHER AREA: 11,282.52 SQ. FT. (27.83 %)  
 20% > 55.60% (RESIDENTIAL AREA) > 80%



**OVERALL SITE PLAN**  
 1"=30'-0"  
 GRAPHIC SCALE  
 0 15 30 60  
 (IN FEET)  
 1 inch = 30 ft.

**ZONING: NC-1**  
**LAND USE: DRUGSTORE (CVS PHARMACY) & MIXED USE (RETAIL & RESIDENTIAL)**

	OVERALL SITE	CVS DEVELOPMENT	MIXED USE DEVELOPMENT
TOTAL LAND AREA:	158,736.00 SQ. FT. ( 3.64± ACRES )	91,594.33 SQ. FT. ( 2.103± ACRES )	67,141.67 SQ. FT. ( 1.541± ACRES )
RIGHT OF WAY DEDICATION:	26,772.22 SQ. FT. ( 0.615± ACRES )	12,917.09 SQ. FT. ( 0.297± ACRES )	13,855.13 SQ. FT. ( 0.318± ACRES )
NET LAND AREA:	131,963.78 SQ. FT. ( 3.029± ACRES )	78,677.24 SQ. FT. ( 1.806± ACRES )	53,286.54 SQ. FT. ( 1.223± ACRES )
TOTAL BUILDING COVERAGE:	25,970.00 SQ. FT. ( 19.67 % )	13,812.00 SQ. FT. ( 17.56 % )	12,158.00 SQ. FT. ( 22.79 % )
TOTAL LANDSCAPED AREA:	35,094.00 SQ. FT. ( 26.59 % )	22,629.00 SQ. FT. ( 28.76 % )	12,465.00 SQ. FT. ( 23.39 % )
TOTAL PAVED AREA & WALKS:	60,993.78 SQ. FT. ( 46.22 % )	38,881.24 SQ. FT. ( 49.42 % )	22,112.54 SQ. FT. ( 41.50 % )
TOTAL PERVIOUS CONC. (NOT INCLUDED IN PAVED AREAS & WALKS)	9,906.00 SQ. FT. ( 7.51 % )	3,355.00 SQ. FT. ( 4.26 % )	6,551.00 SQ. FT. ( 12.29 % )
PERVIOUS AREA:	45,000.00 SQ. FT. ( 34.10 % ) ( 1.033± AC )	25,984.00 SQ. FT. ( 33.03 % ) ( 0.597± AC )	19,016.00 SQ. FT. ( 35.69 % ) ( 0.437± AC )
IMPERVIOUS AREA: (BUILDING COVERAGE INCLUDED)	86,963.78 SQ. FT. ( 65.90 % ) ( 1.966± AC )	52,693.24 SQ. FT. ( 66.97 % ) ( 1.21± AC )	34,270.54 SQ. FT. ( 64.31 % ) ( 0.787± AC )

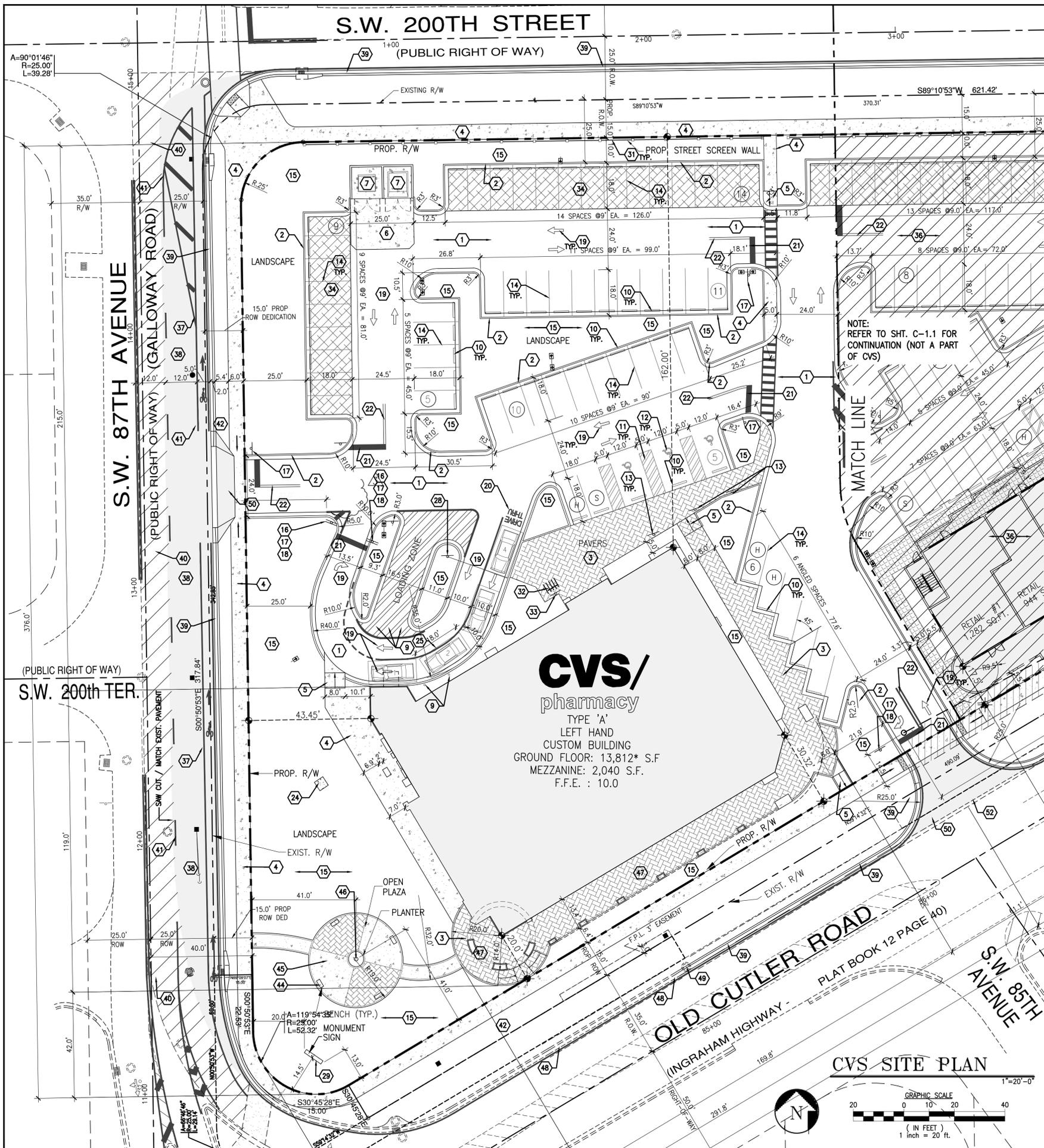
**PARKING ANALYSIS**

	OVERALL SITE	CVS DEVELOPMENT	MIXED USE DEVELOPMENT
TOTAL PARKING SPACES REQUIRED:	117 SPACES (129 W/10% INCREASE)	53 SPACES	64 SPACES
HANDICAP SPACES REQUIRED:	6 SPACES	3 SPACES	3 SPACES
HYBRID/LOW EMISSION VEH. SPACES PROVIDED:	6 SPACES	3 SPACES	3 SPACES
TOTAL PARKING SPACES PROVIDED:	129 SPACES	59 SPACES	70 SPACES

1 SP/300 SF (15,852/300 = 52.84)      RETAIL 1 SP/300 SF (8,405/300 = 28.02) = 28 SPACES  
 RESIDENTIAL 2.0 SP/UNIT (18 UNITS x 2.0) = 36 SPACES

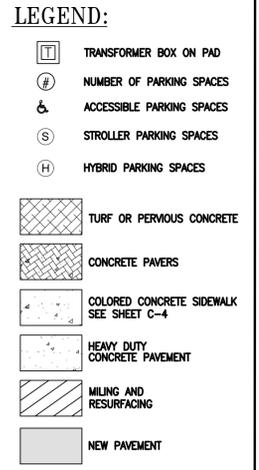






**CONSTRUCTION NOTES:**

- 1 CONCRETE PAVING AS PER DETAIL. EXPANSION AND CONTROL JOINTS AS PER DETAILS. MAXIMUM SPACING FOR CONTROL JOINTS IS 15' O.C. EACH WAY. COLOR GRAY WITH A MIN. SOLAR REFLECTANCE OF 0.30
- 2 6" P.C.C. TYPE "F" CURB AS PER DETAIL
- 3 CONCRETE PAVERS
- 4 CONCRETE SIDEWALK AS PER DETAIL
- 5 P.C.C. HANDICAP RAMP - MAX SLOPE 1:12
- 6 6" THICK P.C.C. PAD W/ 6"x6" -10/10 W.W.M. OVER CRUSHED AGGREGATE OR GRAVEL BASE. CONSTRUCTION JOINTS AT 10 FEET ON CENTER. (COLOR BLACK)
- 7 TRASH & RECYCLE ENCLOSURE REFER TO ARCH. DWGS.
- 8 METAL HALIDE PARKING LIGHT REFER TO SE-1.1 & SE-1.2
- 9 STEEL BOLLARDS AS PER DETAIL
- 10 YELLOW POLYMER WHEEL STOP AS PER DETAIL
- 11 6" WHITE STRIPES AT 60" (PER FDOT INDEX No.17346)
- 12 HANDICAP PARKING AS PER DETAIL.
- 13 HANDICAP SIGN 7'-0" A.F.P. (TO BE POSTED ON WALL WHERE POSSIBLE)
- 14 2'-4" WHITE STRIPES (TYPICAL AT PARKING SPACES)
- 15 LANDSCAPE AREA.
- 16 STANDARD F.D.O.T. "DO NOT ENTER" SIGN (R5-1)
- 17 STANDARD F.D.O.T. HIGH INTENSITY "STOP" SIGN. R1-1 (30"x30")
- 18 STANDARD F.D.O.T. "RIGHT TURN ONLY" SIGN. R3-5R
- 19 TRAFFIC ARROWS PAINTED WHITE
- 20 PAVEMENT MARKING-24" HIGH LETTERS AND ARROWS PAINTED WHITE
- 21 24" WHITE STOP BAR (THERMOPLASTIC)
- 22 6" DOUBLE YELLOW SOLID STRIPES (THERMOPLASTIC)
- 23 DETECTABLE WARNING SURFACE PER FLORIDA ACCESSIBILITY CODE
- 24 TRANSFORMER PAD
- 25 6" WHITE STRIPE (THERMOPLASTIC)
- 26 6" YELLOW STRIPE (THERMOPLASTIC)
- 27 18" YELLOW STRIPE-45" @ 5' O.C. W/24" HIGH LETTERS
- 28 "NO PARKING-LOADING ZONE" SIGN
- 29 MONUMENT SIGN
- 30
- 31 PROPOSED STREET SCREEN FENCE
- 32 BICYCLE RACK BY HUNTCO MODEL BR-5 OR APPROVED EQUAL FINISH: POWER COATED RED, SUPPLIED AND INSTALLED BY G.C.
- 33 "BICYCLE PARKING" SIGN
- 34 PERVIOUS CONCRETE
- 35 RAILING (10 L.F.) REFER TO AS-1
- 36 REFER TO SHEET C-1.1 FOR CONTINUATION. (NOT A PART OF CVS)
- 37 NEW 5' BIKE LANE
- 38 NEW 12' LANE
- 39 PROPOSED TYPE "F" CURB & GUTTER
- 40 MILL & RESURFACE LANE (12 FT. WIDE)
- 41 PROPOSED PAVEMENT MARKING
- 42 NOT USED
- 43 DESIGN VEHICLE F.D.O.T. SU
- 44 BENCH
- 45 OPEN PLAZA
- 46 PLANTER
- 47 ARCADES
- 48 EXISTING TYPE "F" CURB
- 49 EXISTING BELLSOUTH MANHOLE TO REMAIN
- 50 PROPOSED DRIVEWAY PER FDOT DETAIL
- 51 PERGOLA. SEE ARCHITECTURAL PLANS.
- 52 CONC. MOUNTABLE CURB TYPE "B"



GENERAL NOTES - GREEN STANDARDS

(A) **Bicycle Parking/Storage:** Non-residential development shall provide a minimum of six (6) secure bicycle parking/storage spaces for each 50,000 SF of floor area or part thereof. Townhouse and Multi-family development shall provide secure bicycle parking/storage spaces at a ratio of one (1) parking space for each five (5) residential units or fraction thereof. The location of the space shall be indicated on the site plan and located in a prominent location near the main entrance of the building or development.

(B) **Exchange of Off-Street Parking for On-Street Parking:** Residential and multi-family development...

(C) **Hybrid Electric Vehicles and Inherently Low Emission Vehicle Parking:** Non-residential and/or Multi-family development requiring twenty (20) or more parking spaces shall provide an area for parking hybrid electric vehicles (HEV), inherently low emission vehicles (LEV), and golf carts equal to 5 percent of the off-street parking required for the site. Such parking spaces shall be clearly marked and reserved for such vehicles and are to be located close to the handicapped parking spaces. Vehicles parking in these spaces must display a current Florida Division of Motor Vehicles issued decal.

(D) **Low Emitting Materials:** Non-residential and/or Multi-family development shall incorporate low emitting building or construction materials and substances containing minimal or no levels of volatile organic compounds (low-VOC or no-VOC) for paints, coatings, adhesives, sealants, composite wood, and ogr- fiber products. Alternate products and technologies shall be permitted upon written approval of the Director.

(E) **Water Conservation:** Residential and non-residential developments, as well as Major Renovations must meet the requirements of the Miami-Dade County Water-Use Efficiency Standards Manual, effective January 2009, as may be amended from time to time. The Town shall post a copy of the manual on the Town website and shall have a copy available in the Department.

(F) **Paving Materials:** Non-residential, multi-family, and/or mixed-use development shall use paving materials for sidewalks, courtyards, and non-covered parking lots with a minimum Solar Reflective Index (SRI) of 29. As an alternate solution, open grid pervious pavement may be used if it is a minimum of 50 percent pervious and contains vegetation in the open cells.

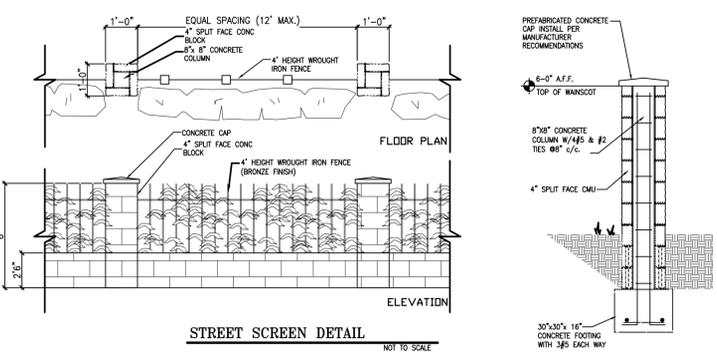
(G) **Roof Finishes:** Roof finishes for residential and non-residential developments shall have a minimum Solar Reflective Index (SRI) of 65 for slopes up to a 2:12 and 25 for slopes greater than 2:12. The minimum SRI shall apply to 75 percent of the roof surface.

(H) **Additional Landscape Requirements:** In addition to the requirements in the Town's landscape code, all developments for which a landscape plan is required shall comply with the Florida Friendly Landscaping guiding principles of the Florida Yard and Neighborhood programs. The applicant shall provide written evidence of compliance with each principle.

(I) **Shower Facilities:** Non-residential development shall provide accessible and private indoor...

(J) **Storage and Collection of Recyclables:** Every building shall dedicate an accessible area, serving the entire building, for the collection and storage of non-hazardous recycling materials, including paper, corrugated cardboard, glass, plastic and metals. Such areas shall be a sufficient size to be able to store recyclables for at least one week. Such areas shall be excluded from floor area ratio calculation.

(K) **Parking Surface:** To be light color concrete.



**CVS pharmacy**  
**FLORIDA COASTAL**  
**14,600-CUSTOM BUILDING**  
**WITH CHAMFER DRIVE-THRU**  
**STORE NUMBER: 3764**  
**NEC OLD CUTLER ROAD & SW 87th AVENUE**  
**CUTLER BAY, FLORIDA**  
**PROJECT TYPE:**  
**DEAL TYPE: NEW**  
**CS PROJECT NUMBER: 62112**

**ARCHITECT OF RECORD**  
  
**CKE GROUP**  
 INCORPORATED  
 engineering • architecture • planning  
 15500 NEW BARN ROAD  
 SUITE 106  
 MIAMI LAKES, FLORIDA 33014  
 PHONE: (305) 558-4124 FAX: (305) 826-0619  
 EB#0004432

**CONSULTANT:**

**DEVELOPER:**  
  
**BOOS**  
 DEVELOPMENT GROUP  
 2651 McCORMICK DR  
 CLEARWATER, FLORIDA 33759  
 (727) 669-2900  
 Fax (727) 669-2915

**SEAL:**  
 EDUARDO L. CARCACHE, PE 31914  
 CKE GROUP, INC. COA-4432

- REVISIONS:**
- 07-13-15
  - 09-03-15
  - 10-06-15 CITY COMMENTS
  - 11-16-15
  - 02-22-16 CITY COMMENTS
  - 03-21-16 SITE PLAN SUBM
  - 05-20-16 SITE PLAN WORKSHOP
  - 06-23-16 SITE PLAN WRKSHOP
  - 07-06-16 SITE PLAN SUBM

**DRAWING BY:** A.V.  
**DATE:** 07-13-2015  
**JOB NUMBER:** CKE # 1302  
**TITLE:** CVS SITE PLAN  
**SHEET NUMBER:** C-1  
**COMMENTS:**



**S.W. 200TH STREET**

CONST. LINE - SW 200th ST.  
(PUBLIC RIGHT OF WAY)

2  
C-7

Q. OF 200th ST.

S89°10'53"W 621.42'

889'10'53"W

370.31'

10.0  
9.50

9.10  
8.60

10.0  
9.50

9.45  
8.95

9.10  
8.60

10.0  
9.50

9.10  
8.60

10.0  
9.50

9.45  
8.95

9.10  
8.60

10.0  
9.50

**S.W. 87TH AVENUE**  
(PUBLIC RIGHT OF WAY) (GALLOWAY ROAD)

(PUBLIC RIGHT OF WAY)  
**S.W. 200th TER.**

**CVS/**  
**pharmacy**  
TYPE 'A'  
LEFT HAND  
CUSTOM BUILDING  
GROUND FLOOR: 13,812\* S.F.  
MEZZANINE: 2,040 S.F.  
F.F.E. : 10.0

**OLD CUTLER ROAD**  
(INGRAHAM HIGHWAY - PLAT BOOK 12 PAGE 40)

**S.W. 85TH AVENUE**



**LOCATION SKETCH**  
N.T.S.

**PROPOSED DRAINAGE SCHEDULE**

STRUCTURE #	TYPE	GRATE EL.	INVERT ELEVATIONS			
			N	S	E	W
CB-1	"P"	8.00		2.10	*2.10	
CB-2	"P"	7.90	2.10		*2.10	
CB-3	"P"	8.00			*2.10	*2.10
CB-4	"P"	8.50			*2.10	*2.10
CB-5	"P"	8.00		*2.10		*2.10
CB-6	"P"	8.90	2.10	2.10		*2.10
CB-7	"P"	8.90	2.10	2.10		

\* PROVIDE POLLUTION RETARDANT BAFFLES AT ALL EXFILTRATION TRENCHES

NOTE:  
REFER TO SHT. C-2.1 FOR  
CONTINUATION

**Flood Legend**

For compliance with Chapter 11C of the Miami-Dade County Code  
Special Flood Hazard Area - Outside Special Flood Hazard Area  
**Commercial, Industrial & Multi Units**

Process #: \_\_\_\_\_ Folio #: 36-6009-003-0310 PB 2193 PG 62  
 Address: OLD CUTLER RD. & SW 87 AVE  
 MIAMI-DADE COUNTY, FLORIDA Highest Crown of Road Elev.: 9.93  
 Highest Crown of Road Elevation above was taken from a certified survey prepared by:  
 FORTIN, LEAVY, SKILES, INC. (DANIEL C. FORTIN) PLS Lic. #: LB 3653/LS 2853  
 Surveyor's Name

**PAVING AND DRAINAGE PLANS**

DERM/WC - ENVIRONMENTAL RESOURCES PERMIT (ERP COPY ATTACHED) # \_\_\_\_\_ N/A  
 SFWMD - SURFACE STORMWATER PERMIT (SWM PERMIT COPY ATTACHED) # \_\_\_\_\_ N/A

Total Impervious Area: 1.978 Ac. (If > 2 ACRES DERM/WATER CONTROL (ERP) PERMIT AND APPROVED PAVING & DRAINAGE MUST BE ATTACHED)

Underground Parking YES / (NO)(circle one) Baseament: YES / (NO)(circle one)

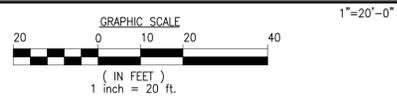
	Lowest Floor Elev.	Adjacent Grade Elev.	Lowest Catch Basin	Retention Area
EXISTING:	N/A	N/A	N/A	N/A
PROPOSED:	10.0	9.93	7.9	N/A

NOTE:  
SITE HAS BEEN DESIGNED TO RETAIN A  
25 YEAR-3DAY STORM EVENT ON SITE

**LEGEND:**

- TRANSFORMER BOX ON PAD
- NUMBER OF PARKING SPACES
- ACCESSIBLE PARKING SPACES
- STROLLER PARKING SPACES
- HYBRID PARKING SPACES
- TURF OR PERVIOUS CONCRETE
- CONCRETE PAVERS
- COLORED CONCRETE SIDEWALK  
SEE SHEET C-4
- HEAVY DUTY CONCRETE PAVEMENT
- MILLING AND RESURFACING
- NEW PAVEMENT

**PAVING, GRADING,  
& DRAINAGE PLAN**



**FLORIDA COASTAL**  
**14,600-CUSTOM BUILDING**  
**WITH CHAMFER DRIVE-THRU**  
STORE NUMBER: **3764**  
NEC OLD CUTLER ROAD & SW 87th AVENUE  
CUTLER BAY, FLORIDA  
PROJECT TYPE:  
DEAL TYPE: NEW  
CS PROJECT NUMBER: **62112**

**ARCHITECT OF RECORD**



**CONSULTANT:**

**DEVELOPER:**



**SEAL:**

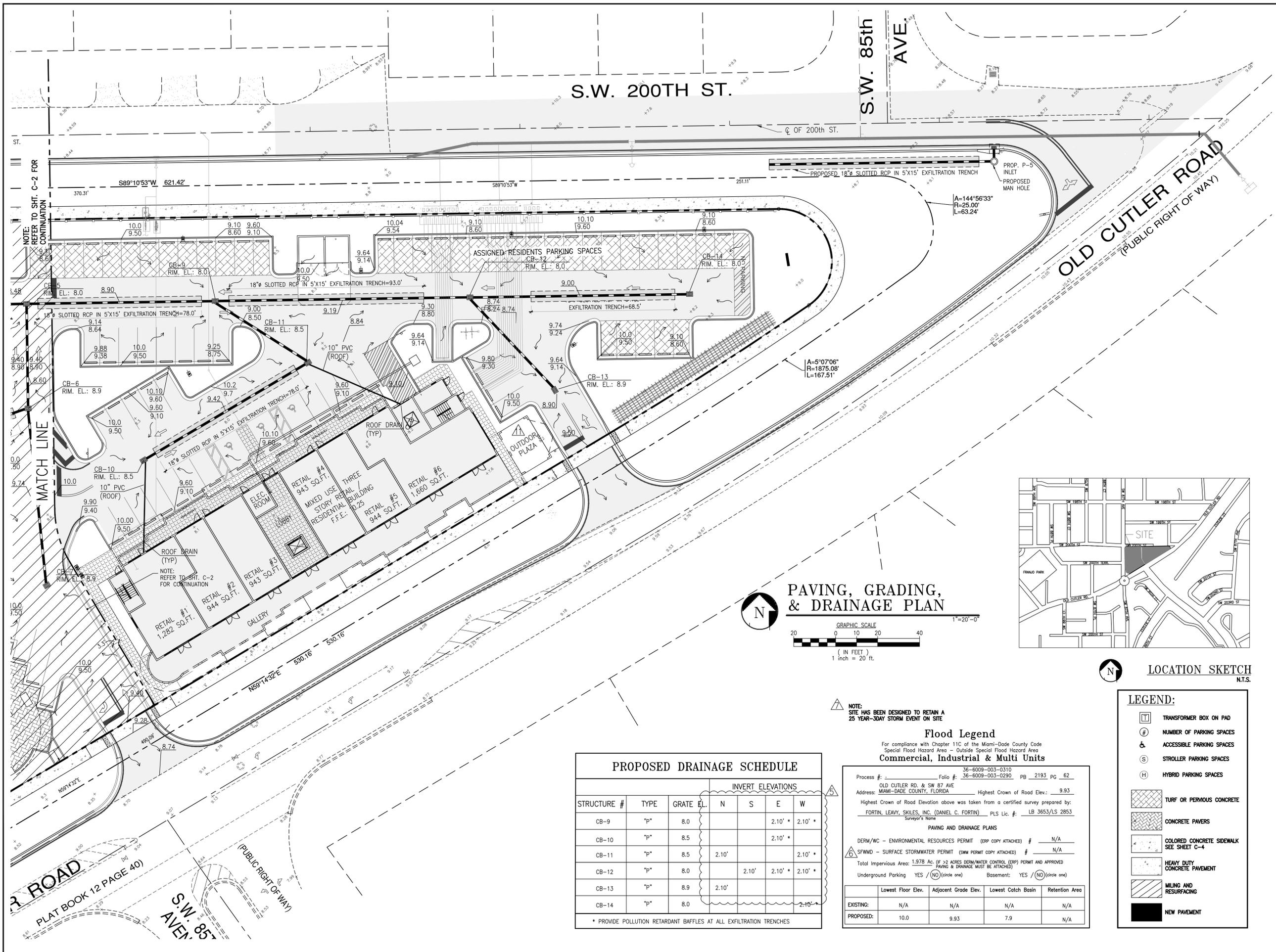
EDUARDO L. CARCACHÉ, PE 31914  
CKE GROUP, INC. COA-4432

- REVISIONS:**
- 07-13-15
  - 09-03-15
  - 10-06-15 CITY COMMENTS
  - 11-16-15
  - 01-18-16
  - 02-22-16 CITY COMMENTS
  - 03-21-16 SITE PLAN SUBM
  - 05-02-16 CITY COMMENTS
  - 07-06-16 SITE PLAN SUBM

DRAWING BY: \_\_\_\_\_ A.V.  
DATE: 07-13-2015  
JOB NUMBER: CKE # 1302  
TITLE: CVS PAVING, GRADING, & DRAINAGE PLAN  
SHEET NUMBER: \_\_\_\_\_

C-2

COMMENTS:



**FLORIDA COASTAL**  
**14,600-CUSTOM BUILDING**  
**WITH CHAMFER DRIVE-THRU**  
 STORE NUMBER: **3764**  
 NEC OLD CUTLER ROAD & SW 87th AVENUE  
 CUTLER BAY, FLORIDA  
 PROJECT TYPE:  
 DEAL TYPE: NEW  
 CS PROJECT NUMBER: **62112**

**ARCHITECT OF RECORD**

**CKE GROUP**  
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 engineering • architecture • planning  
 15500 NEW BARN ROAD  
 SUITE 106  
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 PHONE: (305) 558-4124 FAX: (305) 826-0619  
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**CONSULTANT:**

**DEVELOPER:**

**BOOS**  
 DEVELOPMENT GROUP  
 2651 McCORMICK DR  
 CLEARWATER, FLORIDA 33759  
 (727) 669-2900  
 Fax (727) 669-2915

**SEAL:**

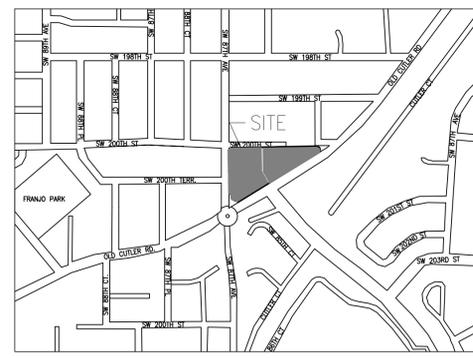
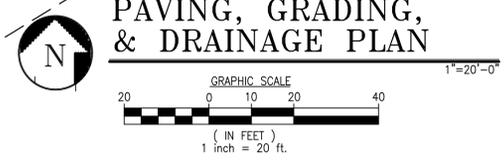
EDUARDO L. CARCACHÉ, PE 31914  
 CKE GROUP, INC. COA-4432

**REVISIONS:**

△	07-13-15
△	09-03-15
△	10-06-15 CITY COMMENTS
△	11-16-15
△	01-18-16
△	02-22-16 CITY COMMENTS
△	03-21-16 SITE PLAN SUBM
△	05-02-16 CITY COMMENTS
△	07-06-16 SITE PLAN SUBM

DRAWING BY: A.V.  
 DATE: 07-13-2015  
 JOB NUMBER: CKE # 1302  
 TITLE: PAVING, GRADING, & DRAINAGE PLAN  
 SHEET NUMBER: **C-2.1**  
 COMMENTS:

**PAVING, GRADING, & DRAINAGE PLAN**



NOTE:  
 SITE HAS BEEN DESIGNED TO RETAIN A  
 25 YEAR-30DAY STORM EVENT ON SITE

**Flood Legend**  
 For compliance with Chapter 11C of the Miami-Dade County Code  
 Special Flood Hazard Area - Outside Special Flood Hazard Area  
**Commercial, Industrial & Multi Units**

Process #:	36-6009-003-0310	Folio #:	36-6009-003-0290	PB	2193	PG	62
OLD CUTLER RD. & SW 87 AVE							
MIAMI-DADE COUNTY, FLORIDA							
Highest Crown of Road Elev.: 9.93							
Highest Crown of Road Elevation above was taken from a certified survey prepared by:							
FORTIN, LEAVY, SKILES, INC. (DANIEL C. FORTIN) PLS Lic. #: LB 3653/LS 2853							
Surveyor's Name							
PAVING AND DRAINAGE PLANS							
DERM/WC - ENVIRONMENTAL RESOURCES PERMIT (ERP COPY ATTACHED) # N/A							
SFVMD - SURFACE STORMWATER PERMIT (SSW PERMIT COPY ATTACHED) # N/A							
Total Impervious Area: 1,978 Ac. (if > 2 ACRES DERM/WATER CONTROL (ERP) PERMIT AND APPROVED PAVING & DRAINAGE MUST BE ATTACHED)							
Underground Parking YES / (NO) (circle one) Basement: YES / (NO) (circle one)							
Lowest Floor Elev.	Adjacent Grade Elev.	Lowest Catch Basin	Retention Area				
EXISTING: N/A	N/A	N/A	N/A				
PROPOSED: 10.0	9.93	7.9	N/A				

**PROPOSED DRAINAGE SCHEDULE**

STRUCTURE #	TYPE	GRATE EL.	INVERT ELEVATIONS			
			N	S	E	W
CB-9	"P"	8.0			2.10'	2.10'
CB-10	"P"	8.5			2.10'	
CB-11	"P"	8.5	2.10'			2.10'
CB-12	"P"	8.0		2.10'	2.10'	2.10'
CB-13	"P"	8.9		2.10'		
CB-14	"P"	8.0				2.10'

\* PROVIDE POLLUTION RETARDANT BAFFLES AT ALL EXFILTRATION TRENCHES

**LEGEND:**

- TRANSFORMER BOX ON PAD
- NUMBER OF PARKING SPACES
- ACCESSIBLE PARKING SPACES
- STROLLER PARKING SPACES
- HYBRID PARKING SPACES
- TURF OR PERVIOUS CONCRETE
- CONCRETE PAVERS
- COLORED CONCRETE SIDEWALK SEE SHEET C-4
- HEAVY DUTY CONCRETE PAVEMENT
- MILING AND RESURFACING
- NEW PAVEMENT

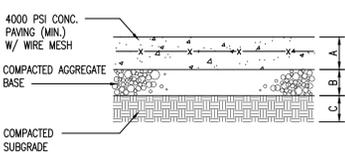
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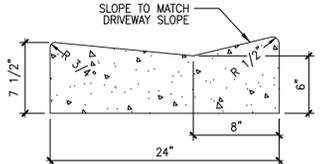
DIMENSION & TYPE

CONCRETE SECTION	A	B	C
DRIVE AISLE	6"	6"	6"
LOADING/DUMPSTER	6"	6"	6"
APPROACHES	6"	6"	6"

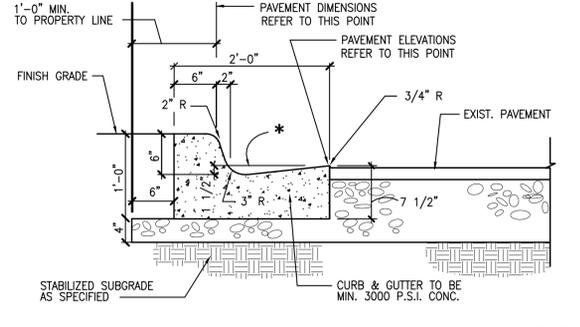


**1 CONCRETE PAVEMENT DETAIL**  
NOT TO SCALE

NOTE:  
ALL HARDSCAPE SURFACES TO BE GRAY CONCRETE WITH A MINIMUM SOLAR REFLECTANCE OF 0.30

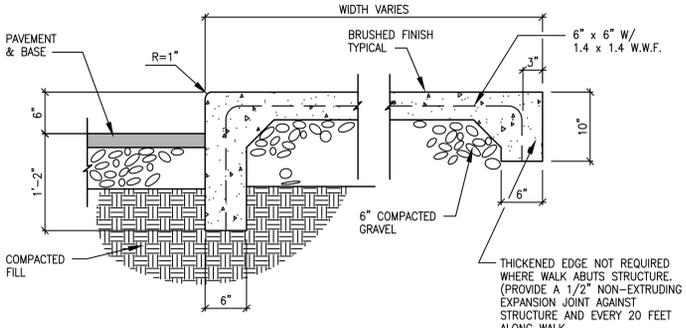


**DRIVEWAY CURB**  
NOT TO SCALE

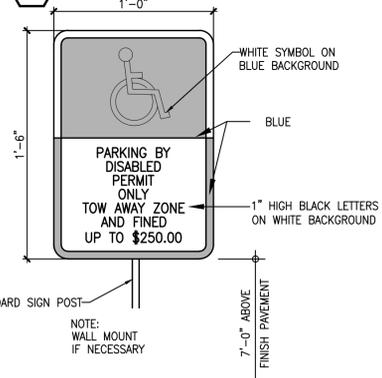


**2' CONCRETE CURB & GUTTER (TYPE "F")**  
NOT TO SCALE

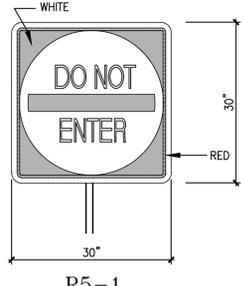
\* NOTE:  
WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.  
Curbs and sidewalks along Old Cutler Road to be painted using the following Colors:  
Integrally - Colored Concrete Lambert - Coral Gables Beige  
Integrally - Colored Concrete Lambert - Mesa Buff (3 lbs.)



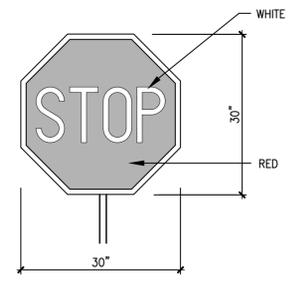
**3 BRUSHED CONCRETE WALK**  
NOT TO SCALE



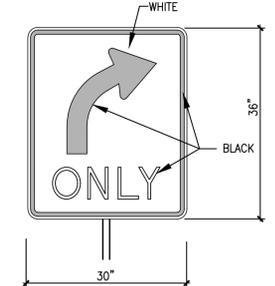
**13 HANDICAP PARKING SIGN**  
NOT TO SCALE



**R5-1**



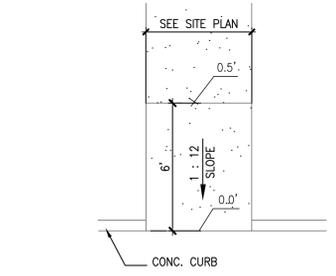
**R1-1**



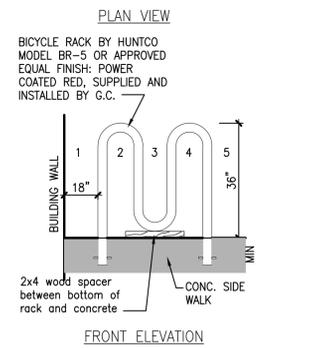
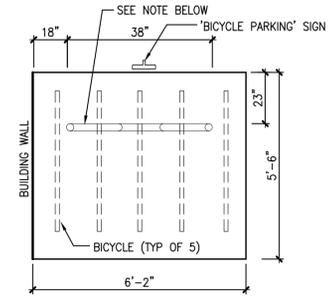
**R3-5R**

**10 PRECAST CONCRETE WHEELSTOP**  
NOT TO SCALE

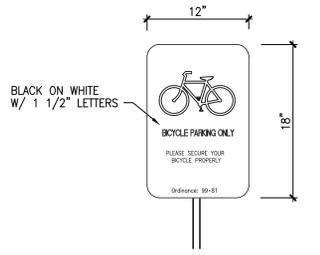
**16 17 18 STANDARD F.D.O.T. SIGNAGE DETAILS**  
NOT TO SCALE



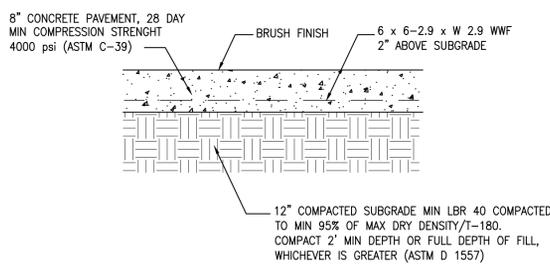
**5 HANDICAP RAMP DETAILS**  
NOT TO SCALE



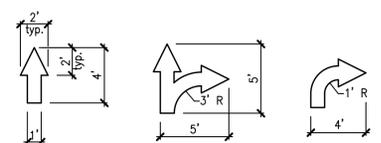
**32 BIKE RACK DETAIL**  
NOT TO SCALE



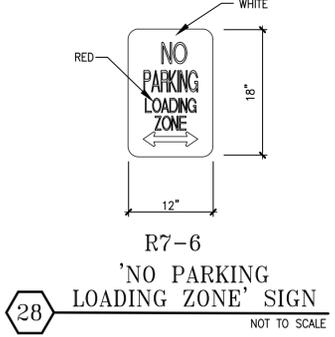
**33 BICYCLE PARKING SIGN**  
NOT TO SCALE



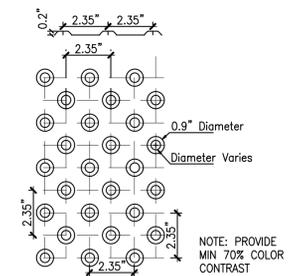
**1A HEAVY DUTY CONCRETE PAVEMENT DETAIL**  
NOT TO SCALE



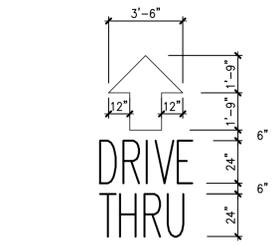
**19 PAINTED ARROWS**  
NOT TO SCALE



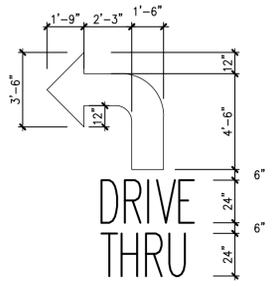
**28 'NO PARKING LOADING ZONE' SIGN**  
NOT TO SCALE



**23 DETECTABLE WARNING SURFACE DETAIL**  
NOT TO SCALE



**DRIVE THRU**



**DRIVE THRU**

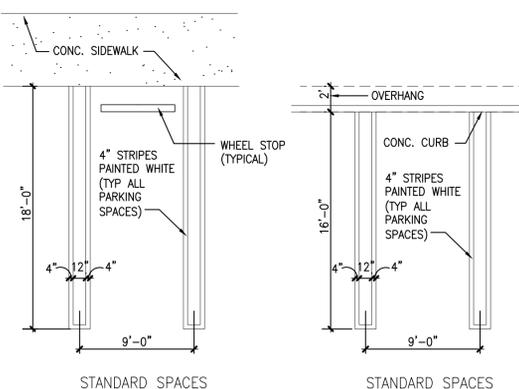
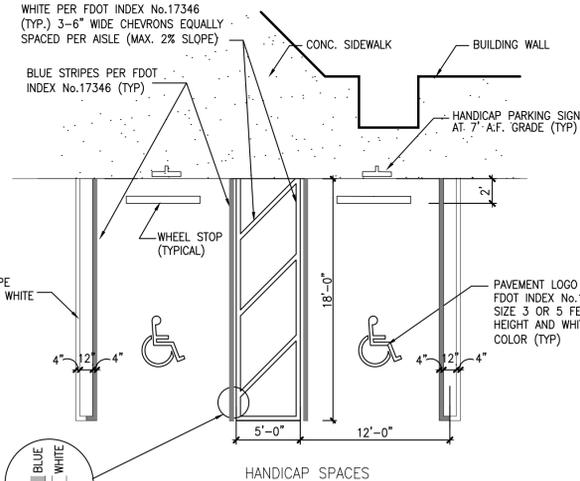
NOTES:  
1. LETTERS TO BE ELONGATED HELVETICA MEDIUM.  
2. PAINT COLOR TO BE WHITE FOR LETTERS AND ARROWS.

**20 PAVEMENT MARKING DETAIL**  
NOT TO SCALE

**GENERAL NOTES**

- ALL SIGNS SHALL BE ERECTED IN ACCORDANCE WITH ALL LOCAL CODES AND SOIL CONDITIONS.
- DESIGNS ARE PER 175 MPH WIND LOADS (VERIFY LOCAL WIND AND SOIL CONDITIONS).

**11 12 14 HANDICAP AND STANDARD PARKING DETAILS**  
NOT TO SCALE



FLORIDA COASTAL  
14,600-CUSTOM BUILDING  
WITH CHAMFER DRIVE-THRU  
STORE NUMBER: 3764  
NEC OLD CUTLER ROAD & SW 87th AVENUE  
CUTLER BAY, FLORIDA  
PROJECT TYPE:  
DEAL TYPE: NEW  
CS PROJECT NUMBER: 62112

ARCHITECT OF RECORD  
**CKE GROUP**  
INCORPORATED  
engineering • architecture • planning  
15500 NEW BARN ROAD  
SUITE 106  
MIAMI LAKES, FLORIDA 33014  
PHONE: (305) 558-4124 FAX: (305) 826-0619  
EB#0004432

CONSULTANT:

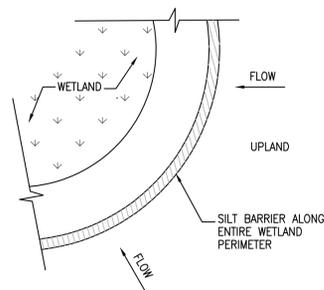
DEVELOPER:  
**BOOS**  
DEVELOPMENT GROUP  
2651 McCORMICK DR  
CLEARWATER, FLORIDA 33759  
(727) 669-2900  
Fax (727) 669-2915

SEAL:  
EDUARDO L. CARCACHÉ, PE 31914  
CKE GROUP, INC. COA-4432

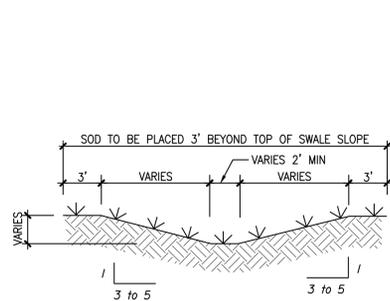
REVISIONS:  
07-13-15  
09-03-15  
10-06-15 CITY COMMENTS  
04-14-16 CITY COMMENTS

DRAWING BY: A.V.  
DATE: 07-13-2015  
JOB NUMBER: CKE # 1302  
TITLE:  
CVS  
SITE DETAILS  
SHEET NUMBER: C-4  
COMMENTS:

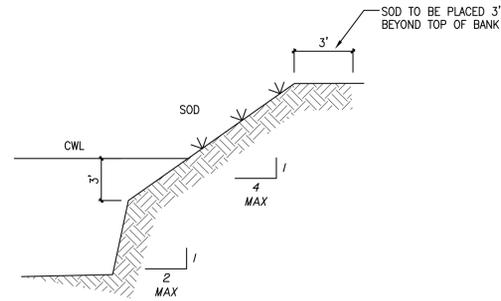




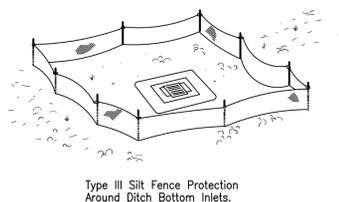
**SILT BARRIER**  
Figure 1



**TYPICAL SWALE SECTION**  
Figure 4

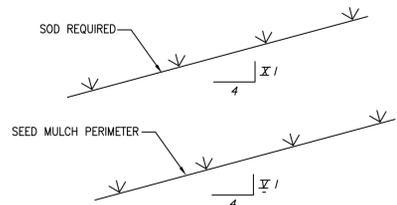


**TYPICAL RETENTION/DETENTION POND SECTION**  
Figure 5

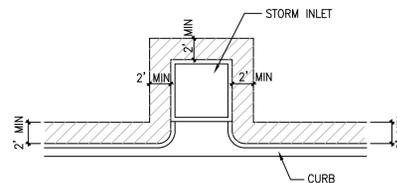


Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.

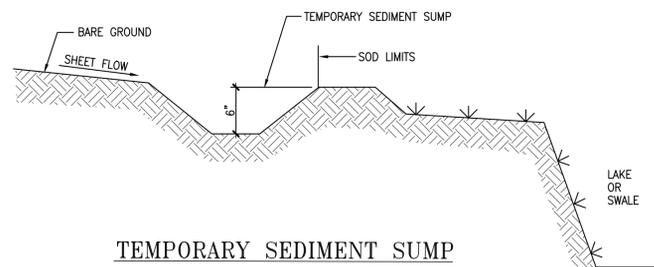
**SILT FENCE APPLICATIONS**  
Figure 7



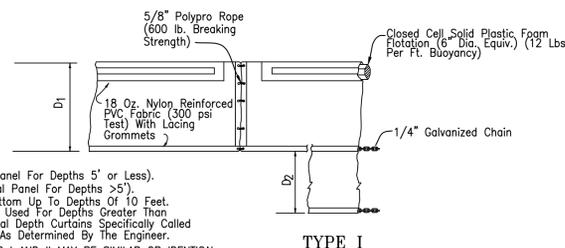
**GRASS SLOPES**  
Figure 8



**SOD ALONG CURB AND AROUND INLET**  
Figure 9



**TEMPORARY SEDIMENT SUMP**  
Figure 10



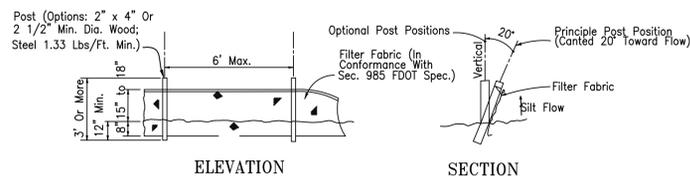
$D_1 = 5'$  Std. (Single Panel For Depths 5' or Less).  
 $D_2 = 5'$  Std. (Additional Panel For Depths  $>5'$ ).  
 Curtain To Reach Bottom Up To Depths Of 10 Feet.  
 Two(2) Panels To Be Used For Depths Greater Than 10 Feet Unless Special Depth Curtains Specifically Called For In The Plans Or As Determined By The Engineer.

NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

**FLOATING TURBIDITY BARRIERS**

**STORMWATER POLLUTION PREVENTION DETAILS**

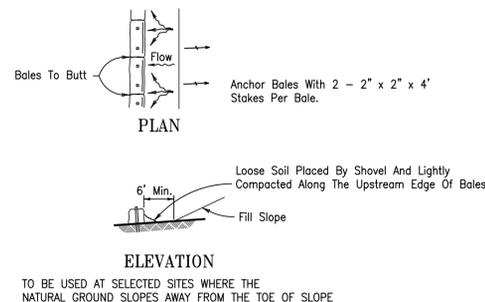
NOT TO SCALE



Note: Silt Fence to be paid for under the contract unit price for Staked Silt Fence (LF).

**TYPE III SILT FENCE**

Figure 2



TO BE USED AT SELECTED SITES WHERE THE NATURAL GROUND SLOPES AWAY FROM THE TOE OF SLOPE

**BARRIERS FOR FILL SLOPES**

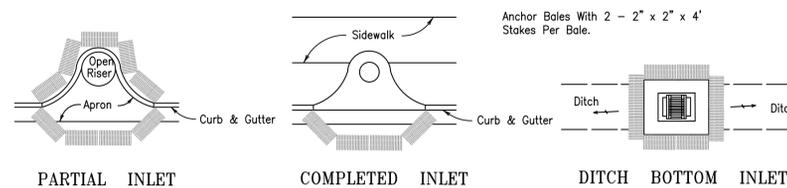


Figure 6

**Best Management Practices**

This plan has been prepared to ensure compliance with appropriate conditions of the Miami-Dade County Land Development Regulations, the Rules of the Florida Department of Environmental Protection, Chapter 17-25, F.A.C.. The plan addresses the following areas:

1. Protection of preserved/conserved wetland habitats during construction.
2. Protection of preserved/conserved upland habitats during construction.
3. General erosion control.
4. Protection of surface water quality during and after construction.
5. Control of wind erosion.

The various techniques or actions identified under each section indicate the appropriate situation when the techniques should be employed. Also identified is a cross-reference to a diagram or figure representing the technique.

It should be noted that the measures identified on this plan are only suggested BMP(s). The contractor shall provide pollution prevention and erosion control measures as specified in FDOT Index #100 and as necessary for each specific application.

**SECTION 1 PROTECTION OF PRESERVED/CONSERVED WETLAND HABITATS DURING CONSTRUCTION**

- 1.1 Wetland habitat protection BMPs shall be utilized for any development parcel which contains or abuts a preserved wetland and/or for any parcel which contains or abuts a mitigated wetland.
- 1.2 Preserved wetlands shall be protected prior to the start of site-work construction. Protection shall consist of a silt barrier constructed along the entire perimeter of the preserved wetland as shown in Figure 1. The silt barrier shall be constructed along the outer edge of the required 30 foot buffer adjoining preserved wetlands. The silt barrier may be either a silt fence as shown in Figure 2 or hay bales as shown in Figure 3.
- 1.3 Mitigated wetlands shall be protected as soon as practical after their construction. Protection shall be the same as for preserved wetlands.
- 1.4 Silt barriers used for wetland protection shall remain in place for the duration of any site-work or building construction located in the vicinity of the wetland. Silt barriers erected during development shall be designed and maintained to not impound intermittent standing water for more than 72 hours. Silt barriers, any silt which accumulates behind these barriers and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

**SECTION 2 PROTECTION OF PRESERVED/CONSERVED UPLAND HABITATS**

- 2.1 Barricades shall be placed around all protected (preserved) habitats including mesic and uplands during development.
- 2.2 Silt barriers required for the protection of preserved habitats other than wetlands shall be constructed along the perimeter of the preserved area in accordance with implementation guidelines contained in Section 1.4.

**SECTION 3 GENERAL EROSION CONTROL**

- 3.1 General erosion control BMPs shall be employed to minimize soil erosion and potential lake slope cave-ins. While the various techniques required will be site and plan specific, they should be employed as soon as possible during construction activities.
- 3.2 Cleared site development areas not continually scheduled for construction activities shall be covered with hay or over-seeded and periodically watered sufficient to stabilize the temporary groundcover.
- 3.3 Slopes of banks of retention/detention ponds shall be constructed not steeper than 4H:1V from top of bank to two feet below normal water level as shown in Figure 5.
- 3.4 All grass slopes constructed steeper than 4H:1V shall be sodded as soon as practical after their construction as shown in Figure 8.
- 3.5 Sod shall be placed for a 3-foot wide strip adjoining all curbing and around all inlets as shown in Figure 9. Sod shall be placed before silt barriers, shown in Figure 6, are removed.
- 3.6 Where required to prevent erosion from sheet flow across bare ground from entering a lake or swale, a temporary sediment sump shall be constructed, as shown in Figure 10. The temporary sediment sump shall remain in place until vegetation is established on the ground draining to the sump.

**SECTION 4 PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION**

- 4.1 Surface water quality shall be maintained by employing the following BMPs in the construction planning and construction of all improvements.
- 4.2 Where practical stormwater shall be covered by swales. Swales shall be constructed as shown in Figure 5.
- 4.3 Erosion control measures shall be employed to minimize turbidity of surface waters located downstream of any construction activity. While the various measures required will be site specific, they shall be employed as needed in accordance with the following:
  - a. In general erosion shall be controlled at the furthest practical upstream location.
  - b. Stormwater inlets shall be protected during construction as shown in Figures 6 and 7. Protection measures shall be employed as soon as practical during the various stages of inlet construction. Silt barriers shall remain in place until sodding around inlets is complete.

4.4 Heavy construction equipment parking and maintenance areas shall be designed to prevent oil, grease, and lubricants from entering site drainage features including stormwater collection and treatment systems. Contractors shall provide broad dikes, hay bales or silt screens around, and sediment sumps within, such areas as required to contain spills of oil, grease or lubricants. Contractors shall have available, and shall use, absorbent filter pads to clean up spills as soon as possible after occurrence.

4.5 Silt barriers, any silt which accumulates behind the barriers, and any fill used to anchor the barriers shall be removed promptly after the end of the maintenance period specified for the barriers.

**SECTION 5 CONTROL OF WIND EROSION**

- 5.1 Wind erosion shall be controlled by employing the following methods as necessary and appropriate:
  - a. Bare earth areas shall be watered during construction as necessary to minimize the transport of fugitive dust. It may be necessary to limit construction vehicle speed if bare earth has not been effectively watered. In no case shall fugitive dust be allowed to leave the site under construction.
  - b. As soon as practical after completion of construction, bare earth areas shall be vegetated.
  - c. At any time both during and after site construction that watering and/or vegetation are not effective in controlling wind erosion and/or transport of fugitive dust, other methods as are necessary for such control shall be employed. These methods may include erection of dust control fences. If required, dust control fences shall be constructed in accordance with the detail for a silt fence shown in Figure 2 except the minimum height shall be 4 feet.

**NOTES**

1. THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FDOT INDEX #100 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION



FLORIDA COASTAL  
14,600-CUSTOM BUILDING  
WITH CHAMFER DRIVE-THRU

STORE NUMBER: 3764

NEC OLD CUTLER ROAD & SW 87th AVENUE  
CUTLER BAY, FLORIDA

PROJECT TYPE:  
DEAL TYPE: NEW

CS PROJECT NUMBER: 62112

**ARCHITECT OF RECORD**



**CONSULTANT:**

**DEVELOPER:**



**SEAL:**

EDUARDO L. CARCACHE, PE 31914  
CKE GROUP, INC. COA-4432

**REVISIONS:**

- 07-13-15
- 09-03-15
- 10-06-15 CITY COMMENTS

DRAWING BY: A.V.

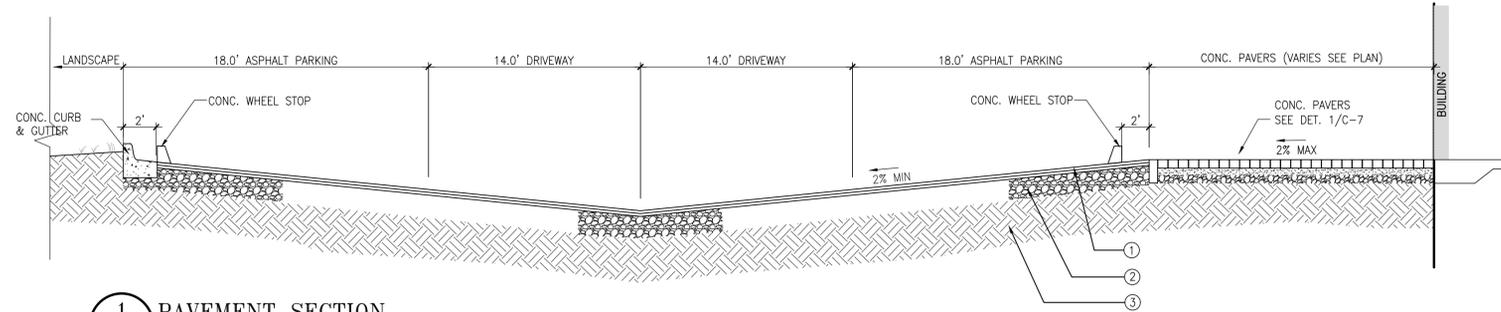
DATE: 07-13-2015

JOB NUMBER: CKE # 1302

TITLE:  
**POLLUTION PREVENTION DETAILS**

SHEET NUMBER: C-6

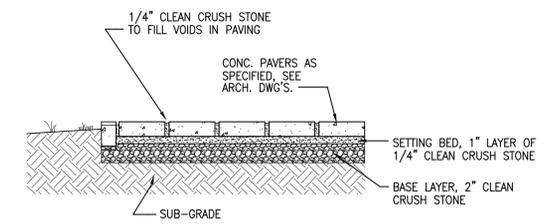
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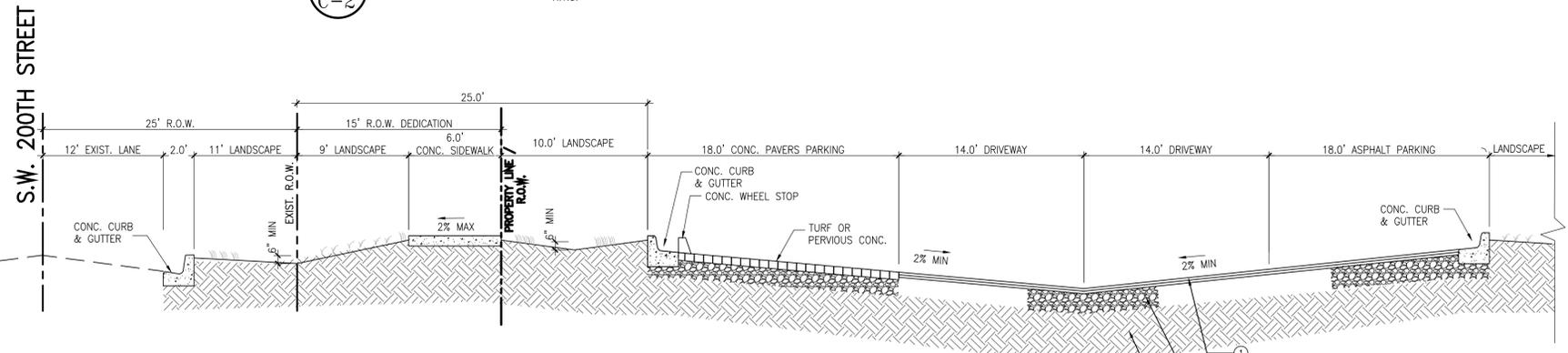
1 PAVEMENT SECTION  
C-2 N.T.S.

**LEGEND**

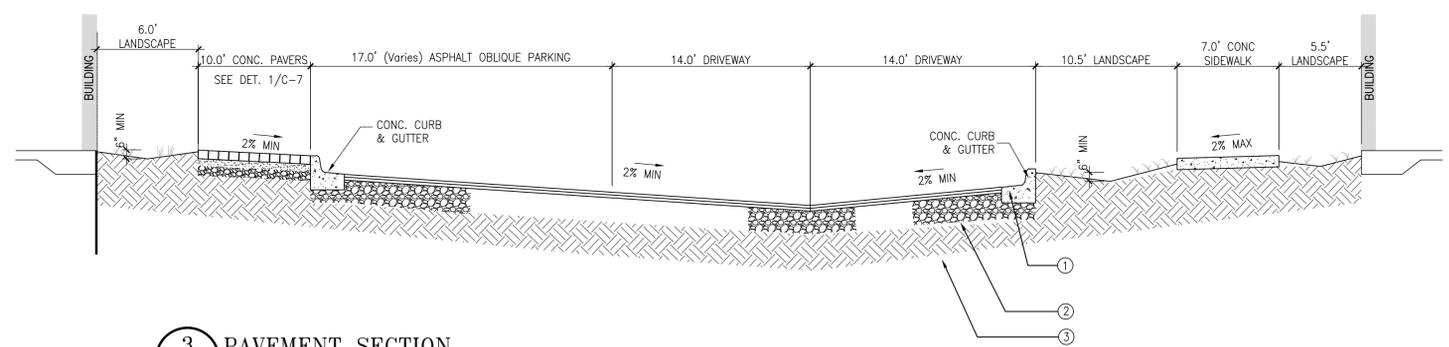
- ① 2" MIN. TYPE SP-9.5 OR SP-12.5 ASPHALTIC CONCRETE APPLIED IN 2-1" MIN LIFTS. SECOND LIFT TO BE APPLIED NO EARLIER THAN AFTER ALL LANDSCAPE INSTALLATION HAS BEEN INSPECTED AND APPROVED. REFER TO CVS SPECS.
- ② 6" LIMEROCK BASE IN PARKING AREAS  
8" LIMEROCK BASE IN DRIVE AISLE  
98% COMPACTION AS PER ASTHO T-180,  
MIN LBR=100, MIN CARBONATE CONTENT=70%
- ③ 12" COMPACTED SUBGRADE MIN LBR 40 COMPACTED TO MIN 98% OF MAX DRY DENSITY/T-180. COMPACT 2" MIN DEPTH OR FULL DEPTH OF FILL, WHICHEVER IS GREATER (ASTM D 1557)



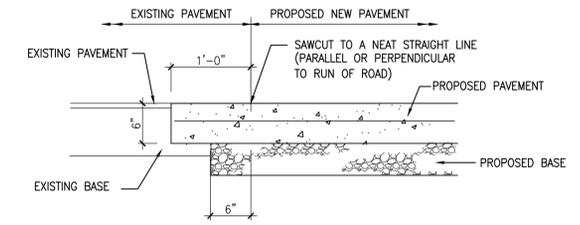
1 PAVER DETAIL  
C-7 NOT TO SCALE



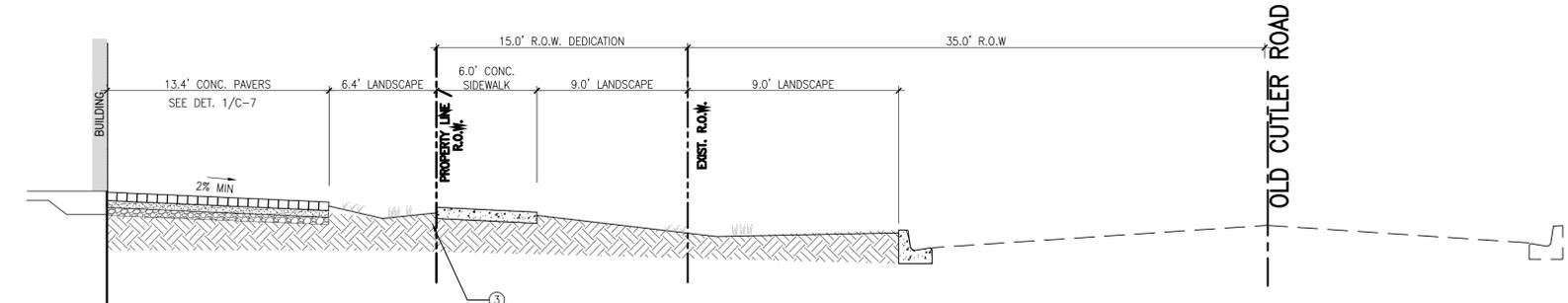
2 PAVEMENT SECTION  
C-2 N.T.S.



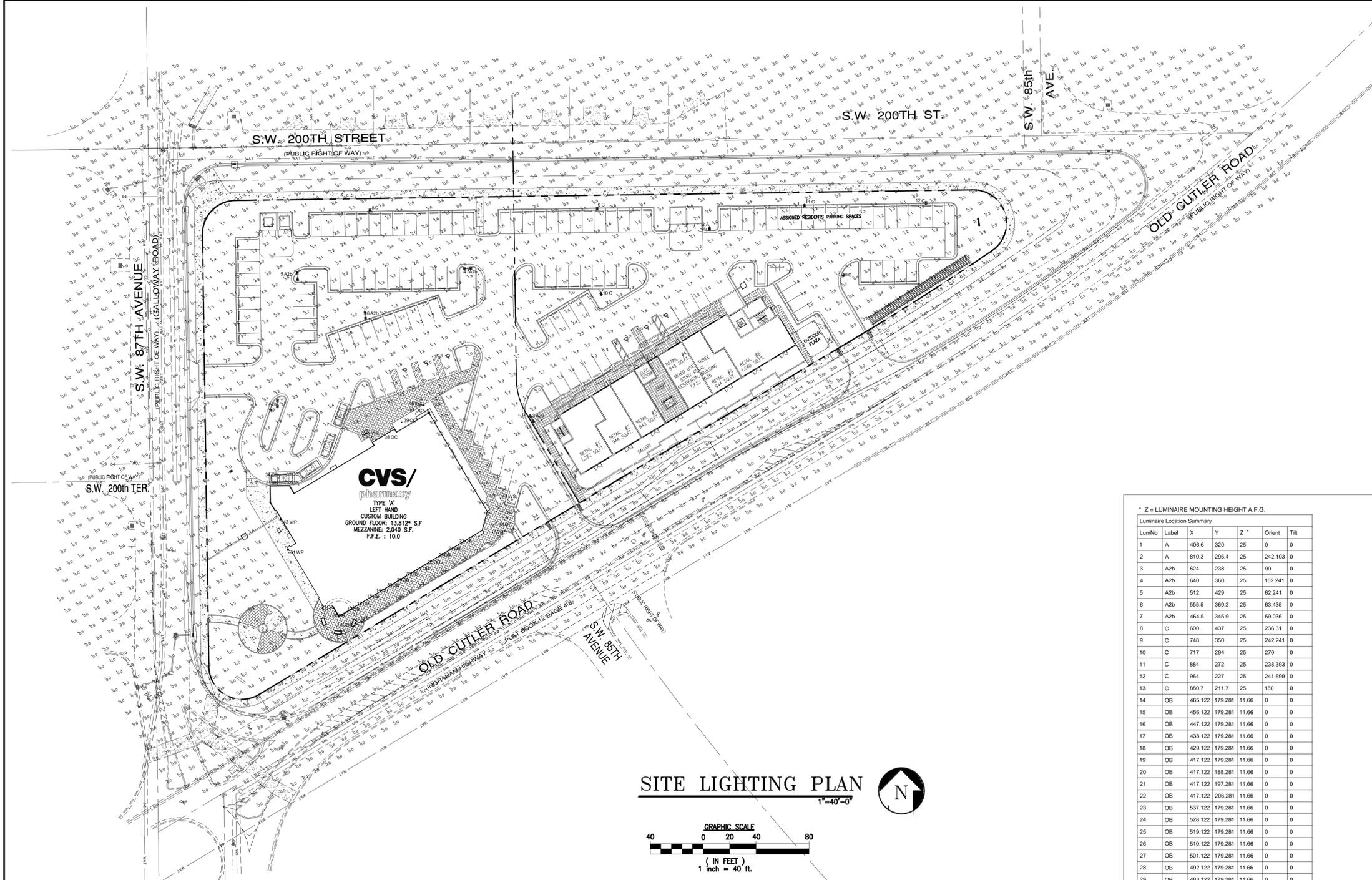
3 PAVEMENT SECTION  
C-2 N.T.S.



2 SAWCUT PAVEMENT DETAIL  
C-7 NOT TO SCALE

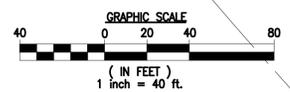


4 PAVEMENT SECTION  
C-2 SCALE: 1:5



### SITE LIGHTING PLAN

1"=40'-0"



HUBBELL IS NOT RESPONSIBLE FOR THE PERFORMANCE OF LUMINAIRE MANUFACTURED BY OTHERS

Symbol	Label	Qty	Description	Arrangement	Lum. Watts	Lum. Lumens	LMF	LDD	BF	LLF
⊕	A	2	CL1-60L-4K-4 (Hubbell Ltg)	SINGLE	141	12036	0.950	0.950	1.000	0.903
⊕	A2b	5	QTY 2 - CL1-60L-4K-4 (Hubbell Ltg)	BACK-BACK	141	12036	0.950	0.950	1.000	0.903
⊕	C	6	CL1-60L-4K-4-BC (Hubbell Ltg)	SINGLE	140.3	9656	0.950	0.950	1.000	0.903
○	OB	21	PT2013-ED155	SINGLE	19.9	1130	0.350	0.900	1.000	0.855
○	OC	6	EVO 41/29 8AR 120	SINGLE	48.9	3108	0.950	0.950	1.000	0.903
⊕	WP	2	DSXW1 LED 10C 1000 40K TFTM MVOLT	SINGLE	40	3065	0.950	0.950	1.000	0.903
⊕	WS	4	AZ-5L-LED75-4K-(2)EJU-BB-CTB-BZ	SINGLE	77.3	5187	0.950	0.950	1.000	0.903

Label	Description	Units	Avg	Max	Min	Avg/Min	Max/Min
AT PL AND 10 FT BEYOND	Fc		0.12	0.6	0.0	N.A.	N.A.
CVS PARKING	1.0 FC MINIMUM	Fc	2.48	6.4	0.9	2.76	7.11

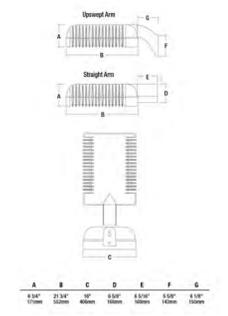
\* Z = LUMINAIRE MOUNTING HEIGHT A.F.G.

LumNo	Label	X	Y	Z *	Orient	Tilt
1	A	406.6	320	25	0	0
2	A	810.3	295.4	25	242.103	0
3	A2b	624	238	25	90	0
4	A2b	640	380	25	152.241	0
5	A2b	512	429	25	62.241	0
6	A2b	555.5	369.2	25	63.435	0
7	A2b	464.5	345.9	25	59.036	0
8	C	600	437	25	236.31	0
9	C	748	350	25	242.241	0
10	C	717	294	25	270	0
11	C	884	272	25	238.393	0
12	C	964	227	25	241.699	0
13	C	880.7	211.7	25	180	0
14	OB	465.122	179.281	11.66	0	0
15	OB	456.122	179.281	11.66	0	0
16	OB	447.122	179.281	11.66	0	0
17	OB	438.122	179.281	11.66	0	0
18	OB	429.122	179.281	11.66	0	0
19	OB	417.122	179.281	11.66	0	0
20	OB	417.122	188.281	11.66	0	0
21	OB	417.122	197.281	11.66	0	0
22	OB	417.122	206.281	11.66	0	0
23	OB	537.122	179.281	11.66	0	0
24	OB	528.122	179.281	11.66	0	0
25	OB	519.122	179.281	11.66	0	0
26	OB	510.122	179.281	11.66	0	0
27	OB	501.122	179.281	11.66	0	0
28	OB	492.122	179.281	11.66	0	0
29	OB	483.122	179.281	11.66	0	0
30	OB	474.122	179.281	11.66	0	0
31	OB	436.5	295.4	9.33	0	0
32	OB	440.2	293.5	9.33	0	0
33	OB	441.5	296	9.33	0	0
34	OB	437.8	297.9	9.33	0	0
35	OC	554.746	179.573	26	0	0
36	OC	561.591	184.633	26	0	0
37	OC	564.965	191.479	26	0	0
38	OC	525.7	285.9	21	0	0
39	OC	538.1	285.9	21	0	0
40	OC	550.4	285.9	21	0	0
41	WP	422.5	245.1	20	180	0
42	WP	422.6	270	20	180	0
43	WS	573.2	198.1	9	0	0
44	WS	545.5	171	9	270	0
45	WS	517.3	288.7	9	90	0
46	WS	559.1	288.8	9	90	0

**FOR PRICING CONTACT**  
**NESCO**  
 40 Hudson Rd  
 Canton, MA 02021  
 Tel: 781-828-9494  
 Fax: 781-575-1398  
 E-Mail: CVSPans@nescoweb.com

POLE SPEC FOR CIMARRON:  
 SINGLE FIXTURE  
 SSS-XX-XX-X-A2-XX

TWIN FIXTURE 180 DEGREE APART  
 SSS-XX-XX-X-C2-XX



LIGHT FIXTURE DETAIL

COMMERCIAL PARKING LOT LIGHTS:  
 PARKING LOT SHALL MAINTAIN A MINIMUM OF 1.0 FOOT-CANDLE FROM DUSK UNTIL DAWN.  
 HOWEVER, THE LIGHTING LEVEL MAY BE REDUCED BY 50% ON NON-BUSINESS DAYS  
 COMMENCING 30 MIN AFTER THE TERMINATION OF BUSINESS ON EACH OPERATING DAY

**CVS pharmacy**  
 FLORIDA COASTAL  
 14,600-CUSTOM BUILDING  
 WITH CHAMFER DRIVE-THRU  
 STORE NUMBER: XXXX  
 NEC OLD CUTLER ROAD & SW 87th AVENUE  
 CUTLER BAY, FLORIDA  
 PROJECT TYPE:  
 DEAL TYPE:  
 CS PROJECT NUMBER: 62112

ARCHITECT OF RECORD  
  
**CKE GROUP**  
 INCORPORATED  
 engineering • architecture • planning  
 15500 NEW BARN ROAD  
 SUITE 106  
 MIAMI LAKES, FLORIDA 33014  
 PHONE: (305) 558-4124 FAX: (305) 826-0619  
 EB#0004432

CONSULTANT:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

DEVELOPER:  
  
**BOOS DEVELOPMENT GROUP**  
 2651 McCORMICK DR  
 CLEARWATER, FLORIDA 33759  
 (727) 669-2900  
 Fax (727) 669-2915

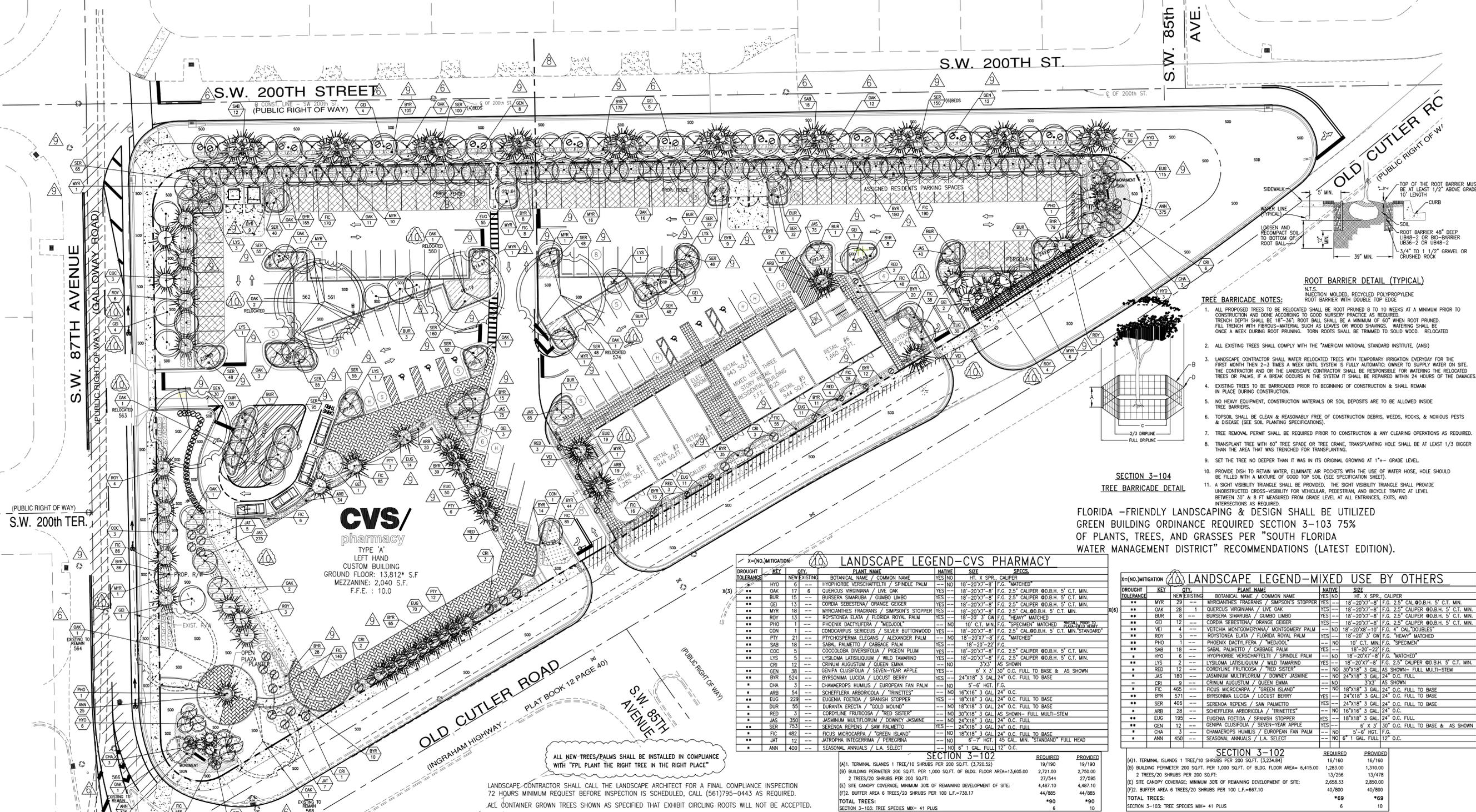
SEAL:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 EDUARDO L. CARCACHÉ, PE 31914  
 CKE GROUP, INC. COA-4432

- REVISIONS:
- △ 07-13-15
  - △ 09-03-15
  - △ 10-06-15 CITY COMMENTS
  - △ 03-21-16 SITE PLAN SUBM
  - △ 07-06-16 SITE PLAN WRKSH

DRAWING BY: A.V.  
 DATE: DECEMBER 4, 2014  
 JOB NUMBER: CKE # 1302  
 TITLE:

SITE LIGHTING PLAN  
 SHEET NUMBER: CE-1  
 COMMENTS:

"ALL EXISTING, PROTECTED TREES WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION" (BY GENERAL CONTRACTOR)



**CVS/**  
pharmacy  
TYPE 'A'  
LEFT HAND  
CUSTOM BUILDING  
GROUND FLOOR: 13,812' S.F.  
MEZZANINE: 2,040 S.F.  
F.F.E.: 10.0

**LANDSCAPE LEGEND - CVS PHARMACY**

KEY	QTY.	PLANT NAME	NATIVE	SIZE	SPECIES
HYD 6	6	HYPOPHORBE VERSCHAFFELTI / SPINDLE PALM	NO	18"-20" X 7"-8"	F.G. MATCHED
OAK 17	6	QUERCUS VIRGINIANA / LIVE OAK	YES	18"-20" X 7"-8"	F.G. 2.5" CALIPER @ D.B.H. 5' C.T. MIN.
BUR 15	6	BURSERIA SUMATRANA / GUMBO LIMBO	YES	18"-20" X 7"-8"	F.G. 2.5" CALIPER @ D.B.H. 5' C.T. MIN.
GEI 13	3	CORDIA SEBESTENA / ORANGE GEIGER	YES	18"-20" X 7"-8"	F.G. 2.5" CALIPER @ D.B.H. 5' C.T. MIN.
MYR 18	18	MYRSINE FRAGRANS / SIMPSON'S STOPPER	YES	18"-20" X 7"-8"	F.G. 2.5" CALIPER @ D.B.H. 5' C.T. MIN.
ROY 13	13	ROYSTONIA ELATA / FLORIDA ROYAL PALM	YES	18"-20" X 7"-8"	F.G. 2.5" CALIPER @ D.B.H. 5' C.T. MIN.
PHO 11	11	PHOENIX DACTYLIIFERA / "MELDOL"	NO	10' C.T. MIN.	F.G. "SPECIMEN" MATCHED
CON 1	1	CONOCARPUS SERICEUS / SILVER BUTTWOOD	YES	18"-20" X 7"-8"	F.G. 2.5" CALIPER @ D.B.H. 5' C.T. MIN. STANDARD
PTY 21	21	PTYCHOSPHERA ELEGANS / ALEXANDER PALM	NO	18"-20" X 7"-8"	F.G. MATCHED
SAB 18	18	SABAL PALMETTO / CARABEA PALM	YES	18"-20" X 7"-8"	F.G. 2.5" CALIPER @ D.B.H. 5' C.T. MIN.
COC 5	5	COCOSCOLA BIVERTICATA / PRINCE PALM	YES	18"-20" X 7"-8"	F.G. 2.5" CALIPER @ D.B.H. 5' C.T. MIN.
LVS 5	5	LYSILOMA LATISILIQUUM / WILD TAMARIND	YES	18"-20" X 7"-8"	F.G. 2.5" CALIPER @ D.B.H. 5' C.T. MIN.
CRN 12	12	CRINUM AUGUSTUM / QUEEN EMMA	NO	3' X 3'	AS SHOWN
GEN 38	38	GENIPA CLUSIFOLIA / SEVEN-YEAR APPLE	NO	6" X 3" 30" O.C. FULL TO BASE & AS SHOWN	AS SHOWN
BYR 524	524	BYRONIA LUCIDA / LOCUST BERRY	NO	24" X 18" 3 GAL 24" O.C. FULL TO BASE	AS SHOWN
CHA 3	3	CHAMAEROPS HUMILIS / EUROPEAN FAN PALM	NO	5'-6" HGT. F.G.	
ARB 54	54	SCHEFFERA ARBORESCENS / "TRINETTES"	NO	16" X 16" 3 GAL 24" O.C.	
EUG 229	229	EUGENIA FOETIDA / SPANISH STOPPER	YES	18" X 18" 3 GAL 24" O.C. FULL TO BASE	
DUR 55	55	DURANTA ERECTA / "GOLD MOUND"	NO	18" X 18" 3 GAL 24" O.C. FULL TO BASE	
RED 3	3	REDYFIDIA FRUTICOSA / "RED SEEDER"	NO	30" X 18" 3 GAL 24" O.C. FULL TO BASE	
JAS 350	350	JASMINUM MULTIFLORUM / DOWNY JASMINE	NO	24" X 18" 3 GAL 24" O.C. FULL	
SER 753	753	SERENOA REPENS / SAW PALMETTO	YES	24" X 18" 3 GAL 24" O.C. FULL	
FC 482	482	FOCUS MICROCARPA / "GREEN ISLAND"	NO	18" X 18" 3 GAL 24" O.C. FULL TO BASE	
JAT 12	12	JATROPHA INTEGRERRIMA / "SEPCONIA"	NO	8'-7" HGT. 45 GAL MIN. STANDARD FULL HEAD	
ANN 400	400	SEASONAL ANNUALS / LA. SELECT	NO	6" 1 GAL FULL 12" O.C.	

**LANDSCAPE LEGEND - MIXED USE BY OTHERS**

KEY	QTY.	PLANT NAME	NATIVE	SIZE	SPECIES
MYR 29	29	MYRSINE FRAGRANS / SIMPSON'S STOPPER	YES	18"-20" X 7"-8"	F.G. 2.5" CALIPER @ D.B.H. 5' C.T. MIN.
OAK 28	28	QUERCUS VIRGINIANA / LIVE OAK	YES	18"-20" X 7"-8"	F.G. 2.5" CALIPER @ D.B.H. 5' C.T. MIN.
BUR 8	8	BURSERIA SUMATRANA / GUMBO LIMBO	YES	18"-20" X 7"-8"	F.G. 2.5" CALIPER @ D.B.H. 5' C.T. MIN.
GEI 12	12	CORDIA SEBESTENA / ORANGE GEIGER	YES	18"-20" X 7"-8"	F.G. 2.5" CALIPER @ D.B.H. 5' C.T. MIN.
VEI 4	4	VEITCHIA MONTGOMERIANA / MONTGOMERY PALM	NO	18"-20" X 8"-10"	F.G. 4" CAL. DOUBLES
ROY 5	5	ROYSTONIA ELATA / FLORIDA ROYAL PALM	YES	18"-20" X 7"-8"	F.G. 2.5" CALIPER @ D.B.H. 5' C.T. MIN.
PHO 11	11	PHOENIX DACTYLIIFERA / "MELDOL"	NO	10' C.T. MIN.	F.G. "SPECIMEN" MATCHED
SAB 18	18	SABAL PALMETTO / CARABEA PALM	YES	18"-20" X 7"-8"	F.G. 2.5" CALIPER @ D.B.H. 5' C.T. MIN.
HYD 6	6	HYPOPHORBE VERSCHAFFELTI / SPINDLE PALM	NO	18"-20" X 7"-8"	F.G. MATCHED
LVS 2	2	LYSILOMA LATISILIQUUM / WILD TAMARIND	YES	18"-20" X 7"-8"	F.G. 2.5" CALIPER @ D.B.H. 5' C.T. MIN.
RED 12	12	REDYFIDIA FRUTICOSA / "RED SEEDER"	NO	30" X 18" 3 GAL 24" O.C. FULL TO BASE	
JAS 190	190	JASMINUM MULTIFLORUM / DOWNY JASMINE	NO	24" X 18" 3 GAL 24" O.C. FULL	
CRN 9	9	CRINUM AUGUSTUM / QUEEN EMMA	NO	3' X 3'	AS SHOWN
FC 485	485	FOCUS MICROCARPA / "GREEN ISLAND"	NO	18" X 18" 3 GAL 24" O.C. FULL TO BASE	
BYR 571	571	BYRONIA LUCIDA / LOCUST BERRY	NO	24" X 18" 3 GAL 24" O.C. FULL TO BASE	
SER 406	406	SERENOA REPENS / SAW PALMETTO	YES	24" X 18" 3 GAL 24" O.C. FULL TO BASE	
ARB 28	28	SCHEFFERA ARBORESCENS / "TRINETTES"	NO	16" X 16" 3 GAL 24" O.C.	
EUG 195	195	EUGENIA FOETIDA / SPANISH STOPPER	YES	18" X 18" 3 GAL 24" O.C. FULL	
GEN 12	12	GENIPA CLUSIFOLIA / SEVEN-YEAR APPLE	NO	6" X 3" 30" O.C. FULL TO BASE & AS SHOWN	
CHA 3	3	CHAMAEROPS HUMILIS / EUROPEAN FAN PALM	NO	5'-6" HGT. F.G.	
ANN 450	450	SEASONAL ANNUALS / LA. SELECT	NO	6" 1 GAL FULL 12" O.C.	

ALL NEW TREES/PALMS SHALL BE INSTALLED IN COMPLIANCE WITH "FPL PLANT THE RIGHT TREE IN THE RIGHT PLACE"

LANDSCAPE CONTRACTOR SHALL CALL THE LANDSCAPE ARCHITECT FOR A FINAL COMPLIANCE INSPECTION 72 HOURS MINIMUM BEFORE INSPECTION IS SCHEDULED, CALL (561)795-0443 AS REQUIRED.

ALL CONTAINER GROWN TREES SHOWN AS SPECIFIED THAT EXHIBIT CIRCLING ROOTS WILL NOT BE ACCEPTED.

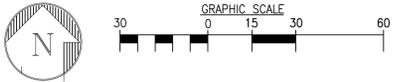
NOTE: SEE SPECIFICATION SHEET FOR ADDITIONAL DETAILS.  
ALL PLANT MATERIAL SHALL BE FLORIDA # 1 OR BETTER & SHALL BE INSTALLED AS SPECIFIED IN "GRADES AND STANDARDS FOR NURSERY PLANTS" FLORIDA DEPT. OF AGRICULTURE LAWS AND STANDARDS, CURRENT EDITION RESPECTIVELY.  
LANDSCAPE CONTRACTOR TO PROVIDE AN AUTOMATIC LAWN IRRIGATION SYSTEM GUARANTEEING 100% COVERAGE & 50% MIN. OVERLAP TO ALL LANDSCAPED AREAS; SYSTEM SHALL HAVE A RAIN SENSOR DEVICE AS REQUIRED.  
ALL EXISTING TREES SHALL BE TRIMMED AS PER "THE AMERICAN NATIONAL STANDARD INSTITUTE, (ANSI) A300-1995" CURRENT EDITION RESPECTIVELY. 7 EXISTING LIVE OAK TO REMAIN SHALL BE REMEDIAL PRUNED & CANOPY REDUCTION ALLOWABLE BY CODE; CONTRACTOR SHALL INCLUDE THIS SERVICE IN THEIR BID PROPOSAL AND HAVE A CERTIFIED ARBORIST PERFORM THE REQUIRED PRUNING.

EXISTING TREES TO BE BARRICADED PRIOR TO BEGINNING OF CONSTRUCTION & SHALL REMAIN IN PLACE DURING NO HEAVY EQUIPMENT, CONSTRUCTION MATERIALS OR SOIL DEPOSITS ARE TO BE ALLOWED INSIDE TREE BARRIERS. TOPSOIL SHALL BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOXIOUS PESTS & DISEASE (SEE SOIL PLANTING SPECIFICATIONS).  
TREE REMOVAL PERMIT SHALL BE REQUIRED PRIOR TO CONSTRUCTION & ANY CLEARING OPERATIONS AS REQUIRED.  
ALL TREES TO HAVE AT LEAST 5" CLEAR TRUNK AND SHALL HAVE 36" DIA. MULCH BED.

XERISCAPE LANDSCAPE PRINCIPLES SHALL BE APPLIED TO ALL SITES AS SPECIFIED IN THE "SOUTH FLORIDA WATER MANAGEMENT DISTRICTS XERISCAPE PLANT GUIDE II", UNDATED, AS REQUIRED.  
A SIGHT VISIBILITY TRIANGLE SHALL BE PROVIDED. THE SIGHT VISIBILITY TRIANGLE SHALL PROVIDE UNOBSTRUCTED CROSS-VISIBILITY FOR VEHICULAR, PEDESTRIAN, AND BICYCLE TRAFFIC AT LEVEL BETWEEN 30" & 8 FT MEASURED FROM GRADE LEVEL AT ALL ENTRANCES, EXITS, AND INTERSECTIONS AS REQUIRED.

"SPECIMEN" CANOPY TO BE REMOVED = 4,121.00 SQ. F.T.: (9) 500 SQ.FT. CANOPY CREDIT SHADE TREES 12' O.A. REQUIRED. (9) 500 SQ.FT. PROVIDED; SEE LANDSCAPE PLAN L-1

OVERALL LANDSCAPE PLAN

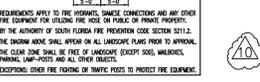


CALL 48 HOURS BEFORE YOU DIG IN FLORIDA

**811**

Know what's below.  
Call before you dig.

IT'S THE LAW!  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.



**SECTION 3-102**

REQUIRED	PROVIDED
(A) 1. TERMINAL ISLANDS 1 TREE/10 SHRUBS PER 200 SQ.FT. (3,224.84)	16/160
(B) BUILDING PERIMETER 200 SQ.FT. PER 1,000 SQ.FT. OF BLDG. FLOOR AREA=6,415.00	1,283.00
(C) 2 TREES/20 SHRUBS PER 200 SQ.FT.	13/256
(D) SITE CANOPY COVERAGE; MINIMUM 30% OF REMAINING DEVELOPMENT OF SITE:	2,658.33
(E) BUFFER AREA 6 TREES/20 SHRUBS PER 100 LF.=667.10	40/800
<b>TOTAL TREES:</b>	<b>69</b>
SECTION 3-103: TREE SPECIES MIX= 41 PLUS	<b>6</b>

**LANDSCAPE LEGEND - MIXED USE BY OTHERS**  
CHAPTER 18A - ORDINANCE 98-13

ZONE DISTRICT: NC-1	NET LOT AREA (31,644.33 SQ.FT.)	ACRES 2.103
A. SQUARE FEET OF OPEN SPACE REQUIRED BY ORDINANCE 11000, AS INDICATED ON SITE PLAN:	18,006	34,076
B. SQUARE FEET OF PARKING LOT OPEN SPACE REQUIRED BY SECTION 8.2, AS INDICATED ON SITE PLAN:	600	600
C. TOTAL S.F. OF LANDSCAPED OPEN SPACE REQUIRED BY SECTION 8.2: A+B=	17,406	34,676
LANE AREA CALCULATION		
A. 17,406.00 TOTAL S.F. OF LANDSCAPED OPEN SPACE REQUIRED BY ORD. 11000:	17,406.00	34,676.00
A. MAXIMUM LAWN AREA (500 PERMITTED) = .20% X 3,417.39 S.F.	2,555.10	2,555.10
<b>TREES:</b>		
A. NUMBER OF TREES REQUIRED PER NET LOT ACRE, LESS EXISTING NUMBER OF TREES MEETING MINIMUM REQUIREMENTS=	69	69
B. TREES X 1.243 NET LOT ACRES=NUMBER OF EXISTING TREES=	26	26
C. TREES X 1.243 NET LOT ACRES=NUMBER OF EXISTING TREES=	69	69
D. TREES X 1.243 NET LOT ACRES=NUMBER OF EXISTING TREES=	69	69
E. STREET TREES (MAXIMUM AVERAGE SPACING OF 30' O.C.):	N/A	N/A
F. STREET TREES LOCATED DIRECTLY BENEATH POWER LINES (MAXIMUM AVERAGE SPACING OF 25' O.C.):	N/A	N/A
<b>SHRUBS:</b>		
A. NUMBER OF SHRUBS REQUIRED: NUMBER OF TREES REQUIRED X 10=	690	690
B. % NATIVE SHRUBS REQUIRED: NUMBER OF SHRUBS PROVIDED X 30%=	207	246
C. % DROUGHT TOLERANT AND LOW MAINTENANCE REQUIRED: NUMBER OF SHRUBS PROVIDED X 20%=	138	346

**SECTION 3-103**

REQUIRED	PROVIDED
(A) 1. TERMINAL ISLANDS 1 TREE/10 SHRUBS PER 200 SQ.FT. (3,224.84)	16/160
(B) BUILDING PERIMETER 200 SQ.FT. PER 1,000 SQ.FT. OF BLDG. FLOOR AREA=6,415.00	1,283.00
(C) 2 TREES/20 SHRUBS PER 200 SQ.FT.	13/256
(D) SITE CANOPY COVERAGE; MINIMUM 30% OF REMAINING DEVELOPMENT OF SITE:	2,658.33
(E) BUFFER AREA 6 TREES/20 SHRUBS PER 100 LF.=667.10	40/800
<b>TOTAL TREES:</b>	<b>69</b>
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**LANDSCAPE LEGEND - MIXED USE BY OTHERS**  
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B. TREES X 1.243 NET LOT ACRES=NUMBER OF EXISTING TREES=	26	26
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D. TREES X 1.243 NET LOT ACRES=NUMBER OF EXISTING TREES=	69	69
E. STREET TREES (MAXIMUM AVERAGE SPACING OF 30' O.C.):	N/A	N/A
F. STREET TREES LOCATED DIRECTLY BENEATH POWER LINES (MAXIMUM AVERAGE SPACING OF 25' O.C.):	N/A	N/A
<b>SHRUBS:</b>		
A. NUMBER OF SHRUBS REQUIRED: NUMBER OF TREES REQUIRED X 10=	690	690
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C. % DROUGHT TOLERANT AND LOW MAINTENANCE REQUIRED: NUMBER OF SHRUBS PROVIDED X 20%=	138	346

**CVS pharmacy**  
FLORIDA COASTAL  
14,600-CUSTOM BUILDING  
WITH CHAMFER DRIVE-THRU  
STORE NUMBER: 3764  
NEC OLD CUTLER ROAD & SW 87th AVENUE  
CUTLER BAY, FLORIDA  
PROJECT TYPE:  
DEAL TYPE: NEW  
CS PROJECT NUMBER: 62112

ARCHITECT OF RECORD  
**CKE GROUP**  
INCORPORATED  
ENGINEERING • ARCHITECTURE • PLANNING  
15500 NEW BARN ROAD  
SUITE 106  
MIAMI LAKES, FLORIDA 33014  
PHONE: (305) 558-4124 FAX: (305) 826-0619  
E9/0004432

CONSULTANT:  
RICHARD BARTLETT LANDSCAPE, INC.  
1417 STIRRUP LANE  
WELLINGTON, FL 33414  
TEL: (561) 795-0443 FAX: (561) 793-7920  
LANDSCAPE ARCHITECTURE LC26000352  
MICHAEL E. RAWLS P.L.A.#00016133  
EMAIL: planmaker@bellsouth.net

DEVELOPER:  
**BOOS**  
DEVELOPMENT GROUP  
2651 MCCORMICK DR  
CLEARWATER, FLORIDA 33759  
(727) 669-2900  
Fax (727) 669-2915

SEAL:  
EDUARDO L. CARCACHÉ, PE 31914  
CKE GROUP, INC. COA-4432

- REVISIONS:
- 07-13-15
  - 09-03-15
  - 10-06-15 CITY COMMENTS
  - 11-16-15
  - 01-18-16
  - 02-22-16 CITY COMMENTS
  - 03-18-16 SITE PLAN SUBMIT
  - 05-02-16 SITE PLAN SUBMIT
  - 05-20-16 SITE PLAN WRKSH
  - 07-06-16

DRAWING BY: RICK BARTLETT A.V.  
DATE: 07-13-2015  
JOB NUMBER: RBL14-12-2020 CKE # 1302  
TITLE: CVS PHARMACY LANDSCAPE PLAN  
SHEET NUMBER: L-1  
COMMENTS:



**NOTE:**

1. DOCUMENT COMPLIANCE WITH THE STANDARDS IN ARTICLE V (GREEN STANDARDS) OF THE TOWN CODE OF CUTLER BAY ARE LISTED BELOW:

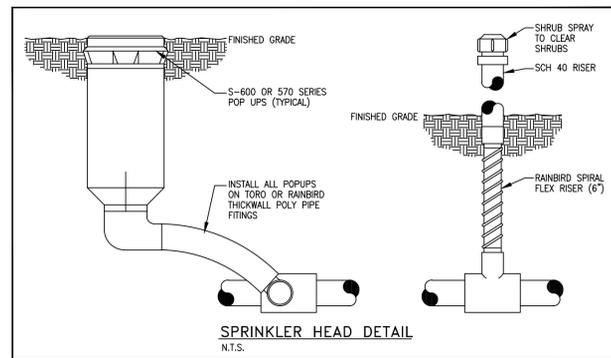
\*SEE LANDSCAPE PLAN FOR PROVIDED AND ADDITIONAL INFORMATION REQUIRED

**DROUGHT TOLERANCE= SFWM** FLORIDA -FRIENDLY LANDSCAPING & DESIGN SHALL BE UTILIZED GREEN BUILDING ORDINANCE REQUIRED SECTION 3-103 75% OF PLANTS, TREES, AND GRASSES PER "SOUTH FLORIDA WATER MANAGEMENT DISTRICT" RECOMMENDATIONS (LATEST EDITION).

WATER MANAGEMENT DISTRICTS "SOUTH FLORIDA WATER MANAGEMENT DISTRICTS XERISCAPE PLANT GUIDE II", UNDATED, AS REQUIRED.

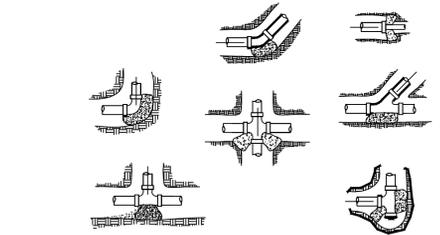
2. PLANS SHALL COMPLY WITH SECTION 3-93, COMPLIANCE WITH TOWN STANDARDS.

3. PLANS SHALL COMPLY WITH SECTION 3-94, COMPLIANCE WITH COUNTY STANDARDS, SPECIFICALLY, CHAPTERS 18-A, 18B AND 24.



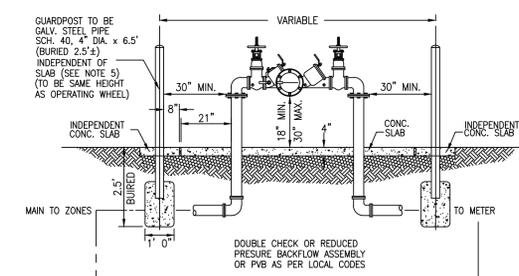
Time Controller

NOT TO SCALE



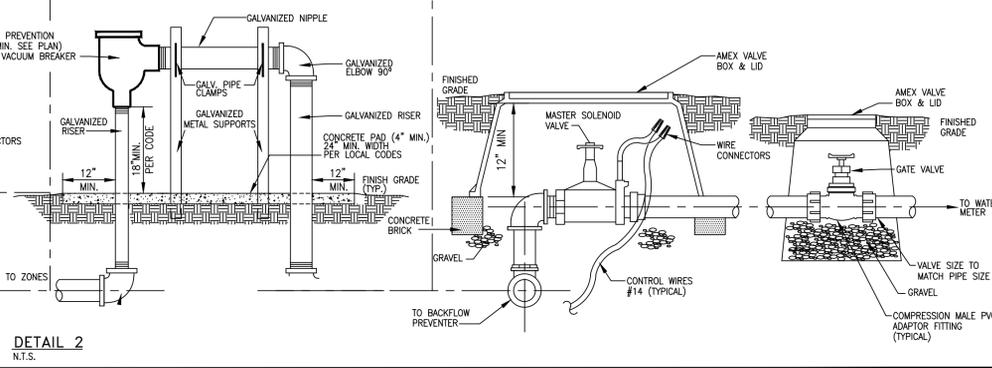
Main Line Thrust Blocks

NOT TO SCALE



**NOTE:**

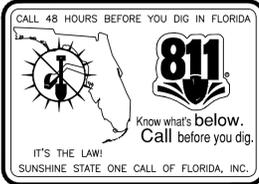
1. THE ASSEMBLY MUST BE INSTALLED WITH MINIMUM HORIZONTAL CLEARANCE OF 18" MIN.-30" MAX. FREE FROM OBSTRUCTIONS IN ALL DIRECTIONS.
2. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE ON THE APPROVED LIST OF FOUNDATION FOR CROSS CONNECTION CONTROL UNIVERSITY OF CALIFORNIA. CONTRACTOR TO PROVIDE MANUFACTURERS CERTIFICATION OF U.S.C. APPROVAL.
3. ALL BACKFLOW PREVENTION ASSEMBLIES 3" AND SMALLER SHALL BE FACTORY ASSEMBLED INCLUDING SHUT OFF VALVE AS REQUIRED BY U.S.C. FOUNDATION FOR CROSS CONNECTION CONTROL. STANDARDS ON DEVICES 4" AND LARGER SHUT OFF VALVE MAY BE REMOVED FOR SHIPPING AND FIELD REINSTALLED.
4. BACKFLOW PREVENTION ASSEMBLIES SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION APPROVED BY CITY AND OR COUNTY PUBLIC UTILITIES. LOCATIONS INSIDE BUILDING OR WITH OTHERWISE RESTRICTED ACCESS WILL NOT BE APPROVED.
5. GUARDPOSTS OR PROTECTIVE ENCLOSURE MAY BE REQUIRED DEPENDING ON SITE CONDITIONS, BY GENERAL CONTRACTOR IF REQUIRED.
6. INSTALL ADJUSTABLE PIPE SUPPORTS WHERE INDICATED. SUPPORT (TYP.) WILL NOT BE REQUIRED ON INSTALLATIONS 2" AND SMALLER.



DETAIL 2 N.T.S.

**IRRIGATION SPECIFICATIONS**

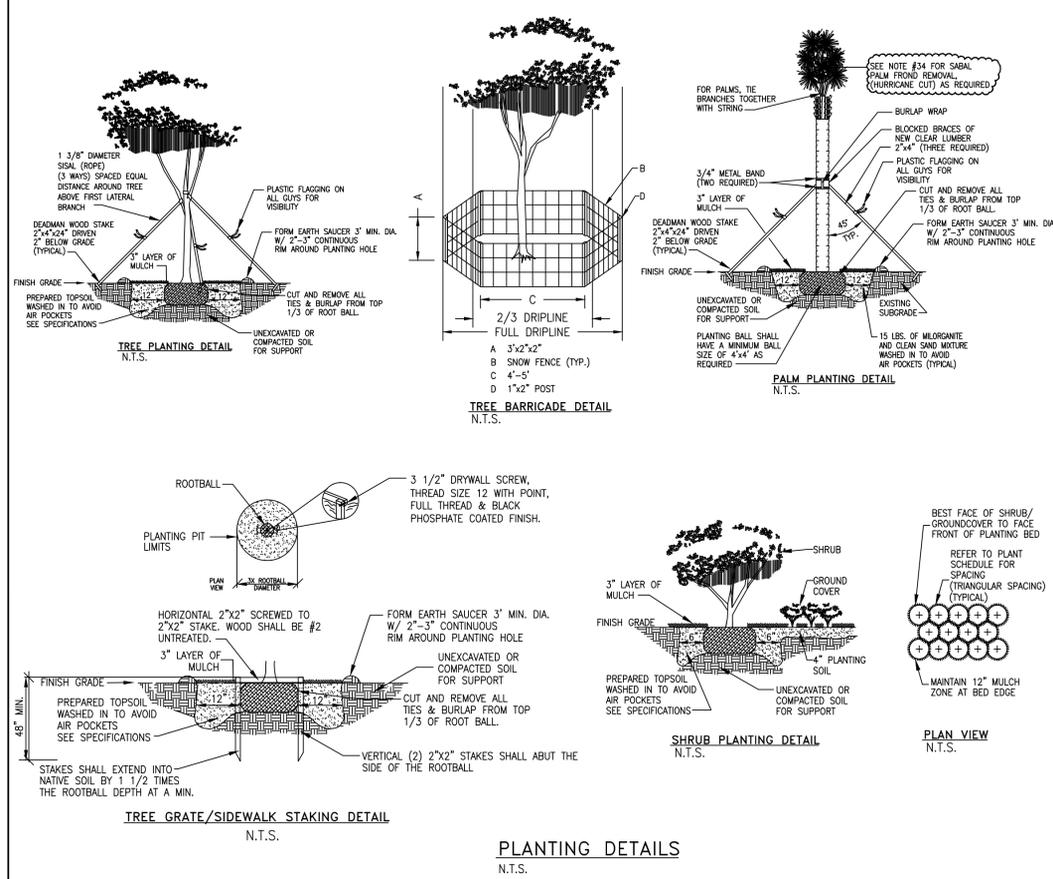
1. HEADS TO BE INSTALLED IN PLANTERS AND BED AREAS SHALL BE 12" POP UP OR MUST BE APPROVED BY LANDSCAPE ARCHITECT TO BE LOCATED ON RISERS PRIOR TO INSTALLATION & SHALL BE PAINTED FLAT BLACK; IF APPROVED.
2. ALL MAINS AND SLEEVES MUST BE PVC SCH 40 AND BURIED A MINIMUM OF 24" BELOW FINISH GRADE.
3. ALL LATERALS MUST BE PVC SCH 160 AND BURIED A MINIMUM OF 12" BELOW FINISH GRADE.
4. PROVIDE SLEEVES UNDER PAVEMENT PRIOR TO INSTALLATION OF SAME. PIPE INSTALLATION IN VEHICLE TRAFFIC AREAS SHALL BE AS FOLLOWS: PLUMBING BUILDING CODE APPENDIX (F) PART V-A-1.1: PIPE SIZE (INCHES) DEPTH OF COVER (INCHES) 1/2-2 1/2 18"-24" 3-5 24"-30" 6 AND LARGER 30"-36"
5. CONTRACTOR TO SIZE PIPING (UNLESS OTHERWISE SHOWN) AND ADJUST SPRAY HEADS LOCATION TO CONFORM WITH WATER REQUIREMENTS OF ACTUAL LANDSCAPING FOR ADEQUATE WATER COVERAGE.
6. IRRIGATION CONTRACTOR SHALL PROVIDE 100% COVERAGE TO ALL LANDSCAPED AREAS AND MAINTAIN A 50% MIN. OVERLAP USING RUST FREE WATER.
7. IRRIGATION CONTRACTOR TO PROVIDE 35 PSI AT ALL HEADS.
8. HEADS TO BE INSTALLED IN PLANTERS SHALL BE 12" POP UP OR MUST BE APPROVED BY LANDSCAPE ARCHITECT TO BE LOCATED ON RISERS PRIOR TO INSTALLATION.
9. IRRIGATION CONTRACTOR TO FURNISH CONTROLLER TIME CLOCK TO BE LOCATED IN MECHANICAL ROOM OR APPROVED LOCATION; SEE DETAIL.
10. BUILDING CONTRACTOR TO SUPPLY ELECTRICAL HOOK UP.
11. ALL WORK MUST BE DONE AS PER LOCAL CODES. CODES AND STANDARDS: ALL WORK SHALL BE INSTALLED AND COMPLY WITH "FLORIDA BUILDING CODE APPENDIX (F) PART V-A-1.1", INCLUDING ORDINANCES AND REGULATIONS OF ALL GOVERNING AUTHORITIES. WORK ALSO SHALL COMPLY WITH THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM).
12. SYSTEM IS TO BE DESIGNED (IF NOT SHOWN ON PLAN) AND INSTALLED BY A QUALIFIED, LICENSED, AND INSURED LANDSCAPE IRRIGATOR.
13. SPRINKLER SYSTEM SHALL BE GUARANTEED FOR ONE YEAR AGAINST MECHANICAL DEFECTS.
14. IRRIGATION CONTRACTOR TO USE #14 DIRECT BURIAL LOW VOLTAGE WIRE AND INSTALLED UNDER SIDE OF MAIN LINES, TO INSURE PROTECTION AND LOCATING OF SAME. SLEEVED UNDER PAVEMENT AND WALKS, SPRINKLER ONLY AT VALVE LOCATIONS. ALL SPLICES SHALL BE MADE WATER PROOF. CONTROL WIRES SHALL BE COLOR CODED. ONE EXTRA WIRE SHALL BE RAN WITH EACH ZONE VALVE. IF K-RAINS NOT REQUIRED SEE PLAN FOR VALVE LOCATIONS.
15. ALL IRRIGATION LINE LOCATIONS SHOWN ON PLAN ARE APPROXIMATE. CONTRACTOR TO ADJUST TRENCHING IN FIELD FOR EXISTING CONDITIONS, PLANTINGS AND STRUCTURES AS REQUIRED.
16. IRRIGATION CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION OR UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE IRRIGATION CONTRACTOR IN A MANNER APPROVED BY THE OWNER.
17. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND FULLY AUTOMATIC IRRIGATION SYSTEM USING POP-UP SPRINKLERS. SYSTEM SHALL PROVIDE 100% COVERAGE WITH A 50% OVERLAP (MINIMUM) USING RUST FREE WATER, EXCEPT PRESERVED AREAS REMAINING IN NATURAL STATE. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED THAT WILL OVERRIDE THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. WATER SHALL NOT BE DIRECTED AND/OR PROVIDED ON IMPERVIOUS SURFACES AND/OR BE DESIGNED OR INSTALLED TO THROW WATER OVER IMPROVISED SURFACE SUCH AS SIDEWALKS, ETC.. HOURS OF OPERATION FOR ALL IRRIGATION SYSTEMS SHALL BE LIMITED TO 5:00 PM TO 8:00 AM ONLY OR AS MAY BE FURTHER RESTRICTED BY SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR OTHER JURISDICTIONAL AGENCY.



**\* ROOT BARRIER DETAIL (TYPICAL)**

N.T.S. INJECTION MOLDED, RECYCLED POLYPROPYLENE ROOT BARRIER WITH DOUBLE TOP EDGE

IRRIGATION LEGEND			
SYMBOL	MODEL NUMBER	AREA	GPM
●	TORO SPRY NOZZLES 570 W/ 6" & 12" SPRINKLER BODY	-	-
●	FULL - 15' F	15' RAD	4.00
●	270° - 15' 270'	15' RAD	3.00
●	HALF - 15' H	15' RAD	2.00
●	QUARTER - 15' Q	15' RAD	1.00
○	SIDE STRIP - 4' SST	4'x30'	1.45
○	SIDE STRIP - 9' SST	9'x18'	1.20
○	CENTER STRIP - 4' CST	4'x30'	1.20
○	END STRIP - 4' EST	4'x15'	0.60
▲	TORO SERIES S600 GEAR DRIVEN ROTARY SPRINKLER	43' RAD	2.77
△	TORO MODEL NO. 304-00-03 STREAM ROTOR SPRINKLER	28' RAD	1.36
△	TORO MODEL NO. 308-00-03 STREAM ROTOR SPRINKLER	28' RAD	2.72
△	TORO MODEL NO. 311-00-03 STREAM ROTOR SPRINKLER	28' RAD	3.39
□	WATER METER & BACKFLOW PREVENTER (SIZE AS SHOWN)	-	-
---	MAIN TO BE PVC SCH. 40 (SIZE AS SHOWN)	-	-
○	K-RAIN ZONING VALVE (X-ZONES) (IF SHOWN)	-	-
○	TORO SERIES 252 LOW VOLTAGE AUTOMATIC VALVE (SIZE AS SHOWN)	-	-
○	TIMER CONTROL AS SHOWN ON PLAN	-	-
○	TORO RAIN SENSOR DEVICE MODEL # 850-74	-	-



**PLANTING DETAILS**

N.T.S.

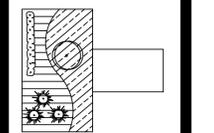
**LANDSCAPE SPECIFICATIONS**

1. CONTRACTOR SHOULD MAKE HIS OWN TAKE OFF TO ELIMINATE DISCREPANCIES. IN CASE THEY OCCUR, THE PLAN WILL TAKE PRECEDENCE OVER THE PLANT LIST.
2. EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY. COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK.
3. ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FIELD #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS, CURRENT EDITION RESPECTIVELY.
4. ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE.
5. ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (1 YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL.
6. ALL SOD TO BE ST. AUGUSTINE FLORATAM SOLID, UNLESS OTHERWISE NOTED.
7. ALL BED AREAS TO RECEIVE A 3" LAYER OF EUCALYPTUS MULCH / FLORIMULCH, & SHALL BE A MIN. OF 1'-0" WIDER THAN PLANTS (MEASURED FROM OUTSIDE OF FOLIAGE).
8. ALL TREES TO HAVE A 2 1/2" MINIMUM TRUNK CALIPER OR UNLESS OTHERWISE SHOWN ON LANDSCAPE LEGEND.
9. ALL TREES FIELD GROWN (LRIO CAN TREES NOT ACCEPTABLE), UNLESS OTHERWISE SHOWN.
10. LANDSCAPER TO FURNISH ALL MATERIALS AND LABOR INCLUDING PLANTS, MULCH, TOP DRESSING, SOIL PREPARATION, DECORATIVE ITEMS (IF SHOWN), INSPECTIONS, TRANSPORTATION, WARRANTY, PERMITS, ETC., NECESSARY FOR COMPLETION OF ALL LANDSCAPING REQUIRED HEREIN EXCEPT IF DESIGNATED TO BE BY OTHERS.
11. LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY CHANGES IN THE MATERIAL OR DESIGN PRIOR TO INSTALLATION OF THE SAME.
12. OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
13. LANDSCAPER SHALL HAVE A COMPETENT SUPERINTENDENT PRESENT ON THE JOB WHO SHALL BE AUTHORIZED TO REPRESENT THE LANDSCAPER IN HIS ABSENCE.
14. PLANTS SHOULD BE TYPICAL FOR THEIR VARIETY AND SPECIES, SOUND, HEALTHY VIGOROUS, FREE FROM PLANT DISEASE, INSECTS OR THEIR EGGS. THEY SHALL HAVE HEALTHY NORMAL ROOTS AND SHALL NOT BE ROOT BOUND. QUALITY AND SIZE: ALL PLANT MATERIALS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
15. ALL PLANT MATERIAL SHALL BE HANDLED IN A CAREFUL MANNER DURING TRANSPORTATION AND INSTALLATION.
16. PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY.
17. OWNER RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIALS.
18. LANDSCAPER SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE DAILY. THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES WHILE WORK IS IN PROGRESS.
19. THE LANDSCAPE CONTRACTOR SHALL LAY OUT HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXERCISING SPECIAL CARE IN LAYING OUT WORK TO KEEP WITHIN PROPERTY LINES AND RECOGNIZING EASEMENTS. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT.
20. INSURE ALL PLANTS SHALL BE MAINTAINED AT ALL TIMES, AS REQUIRED TO INSURE ALL PERSONS AND PROPERTY AGAINST INJURY, AND SHALL BE MAINTAINED UNTIL THE COMPLETION OF ALL WORK.
21. PLANT MATERIALS ABBREVIATIONS ON THE PLANT LIST: FG (FIELD GROWN); CT (INDICATES CLEAR TRUNK MEASUREMENT FROM THE TOP OF BALL TO FIRST BRANCHING OR BASE OF THE LOWEST FROND); GAL (GALLON CAN); 3 GAL (3 GALLON CAN); OA (INDICATES OVERALL HEIGHT FROM TOP OF BALL TO MID POINT OF CURRENT SEASON'S GROWTH); SPR (INDICATES SPREAD); HVT (INDICATES HEAVY); MIN (INDICATES MINIMUM).
22. SUBSTITUTION: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZES SPECIFIED SHALL BE MADE PRIOR TO SUBMISSION OF BIDS. ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT FOR CONSIDERATION AND APPROVAL. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
23. THE CONTRACTOR'S GUARANTEE SHALL NOT APPLY IN THE EVENT OF FIRE, FLOOD, HURRICANE, WINDSTORM, OR OTHER "ACTS OF GOD" OR DAMAGES TO LANDSCAPING IN PROGRESS CAUSED BY ANY PERSONS OTHER THAN THOSE PERSONS UNDER THE DOMINION AND CONTROL OF THE CONTRACTOR.
24. SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH, OR SLIGHTLY HIGHER (+-1") THAN THE FINISHED GRADE.
25. DELIVERY RECEIPTS FOR TOPSOIL, PLANTING SOIL & MULCH SHALL BE SUPPLIED TO THE INSPECTOR OR LANDSCAPE ARCHITECT UPON REQUEST.

26. COMMERCIAL FERTILIZER: COMMERCIAL FERTILIZER SHALL BE AN ORGANIC FERTILIZER CONTAINING NITROGEN, PHOSPHORIC ACID, AND POTASH IN EQUAL PERCENTAGES OF AVAILABLE PLANT FOOD BY WEIGHT OR MILORGANITE. NITROGEN SHALL BE NOT LESS THAN 100% FROM ORGANIC SOURCE. FERTILIZER SHALL BE DELIVERED TO THE SITE UNOPENED IN ORIGINAL CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS. INITIAL FERTILIZATION OF TREES, SHRUBS, GROUND COVERS, SHALL BE WITH "MILORGANITE" OR AN APPROVED COMPLETE FERTILIZER. APPLY "MILORGANITE" IN A CIRCLE AROUND THE PLANT BEFORE MULCHING; DO NOT TOUCH THE PLANT WITH THE FERTILIZER. WATER IN FERTILIZER AFTER MULCHING. APPLY "MILORGANITE" FERTILIZER AT THE FOLLOWING RATE: 5 LBS. OR 14.5 CUPS / PALMS 3 LBS. OR 8.70 CUPS / 12'-16" MATERIAL 2 LBS. OR 5.80 CUPS / 8'-12" MATERIAL 0.69 LBS. OR 2.00 CUPS / 6'-8" MATERIAL 0.19 LBS. OR 1/2 CUP / 3 GAL MATERIAL 0.10 LBS. OR 1/4 CUP / 1 GAL MATERIAL FERTILIZERS SHALL BE SLOW TIME RELEASE, UNIFORM IN COMPOSITION, DRY, AND FREE FLOWING AND SHALL MEET THE FOLLOWING REQUIREMENTS: SIX (6) PERCENT NITROGEN, SIX (6) PERCENT PHOSPHOROUS, AND SIX (6) PERCENT POTASSIUM. FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB. PER 3 GAL. CONTAINER, 1/4 LB. PER 1 GAL. CONTAINER) AND GROUNDCOVER. THE SOD STARTER FERTILIZER MIXTURE SHALL BE A 5-10-10 AT A RATE OF 20 LBS. PER 1000 S.F.. A 14-14-14 FERTILIZER IS REQUIRED ON ALL TREES AND SHRUBS OVER 5' IN HEIGHT (1/2 LB. PER 5' OF SPREAD). AGRIFORM TABLETS WITH TWENTY (20) PERCENT NITROGEN, TEN (10) PERCENT PHOSPHOROUS, FIVE (5) PERCENT POTASSIUM IN 21 GRAM SIZES & SHALL BE APPLIED AT THE FOLLOWING RATE: 1 PAC PER 1 GAL. PLANTS, 2 PACS PER 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIPER. APPLY PALM SPECIAL FERTILIZER AS PER MANUFACTURERS RECOMMENDATION.
27. SUPER ABSORBENT POLYMER: "TERRA SORB" OR APPROVED EQUAL AS PACKAGED IN 3 OZ. HANDY PAC COMPOSED OF SYNTHETIC ACRYLAMIDE COPOLYMER, POTASSIUM, ACRYLATE. PARTICLE SIZE OF 1.0 MM TO 3.0 MM AND ABSORPTION RATE OF 300 TIMES ITS WEIGHT IN WATER. APPLY DRY, USING THE FOLLOWING AMOUNTS: 1 PAC PER TREE - 36" BALL SIZE 2 PACS PER TREE - OVER 36" BALL SIZE 1 PAC PER 20 GAL. CONTAINER 0.5 PACS PER 7-10 GAL. CONTAINER 0.25 PACS PER 3 GAL. CONTAINER 0.12 PACS PER 1 GAL. CONTAINER
28. LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION AND UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR IN A MANNER APPROVED BY THE OWNER.
29. PLANTING SOIL: PLANTING SOIL SHALL BE COMPOSED OF 50% SAND AND 50% DECOMPOSED ORGANIC MATTER. ANY VARIATIONS IN THIS COMPOSITION SHALL BE APPROVED BY THE OWNER PRIOR TO USE. PLANTING SOIL SHALL BE FREE OF STONES, PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE A HINDRANCE TO PLANTING OPERATIONS OR BE DETRIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE FRIABLE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATIONS.
30. WATER FOR PLANTING WILL BE AVAILABLE AT THE SITE AND WILL BE PROVIDED BY THE OWNER.
31. PRUNING: REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIAL. PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL SPECIES, RETAINING AS MUCH HEIGHT AND SPREAD AS POSSIBLE. MAKE ALL PRUNING CUTS WITH A SHARP INSTRUMENT, FLUSH WITH THE TRUNK OR ADJACENT BRANCH, IN SUCH A MANNER AS TO ENSURE ELIMINATION OF STUBS. "HEADBACK" CUTS, RIGHT ANGLE TO LINE OF GROWTH WILL NOT BE PERMITTED AND TREES WILL NOT BE POLED, TOPPED, OR HATRACKED.
32. SITE PREPARATION: IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADE ALL LANDSCAPE AREAS TO BE SOODED (PRIOR TO APPLICATION OF SOD) ELIMINATING ALL BUMPS, DEPRESSIONS, STICKS, STONES, AND OTHER DEBRIS TO THE SATISFACTION OF THE OWNER.
33. MAINTENANCE: MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ALL PLANTING HAS PASSED FINAL INSPECTION AND ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, REMOVAL OF DEAD MATERIALS, RESETTING PLANTS TO PROPER GRADES OR UPRIGHT POSITIONS AND RESTORATION OF THE PLANTING SAUCER AND ANY OTHER NECESSARY OPERATIONS. PROPER PROTECTION TO LAWN AREAS SHALL BE PROVIDED, AND ANY DAMAGE RESULTING FROM PLANTING OPERATIONS SHALL BE REPAIRED PROMPTLY.
34. CONTRACTOR TO REMOVE ALL REMAINING FRONDS ON NEWLY PLANTED SABAL PALMS WITH THE EXCEPTION OF THE CENTER BUD TO INSURE BETTER SURVIVABILITY AND LESS WATER STRESS PROBLEMS OF THE PALM, THIS GIVING HIGHER SURVIVOR RATE OF THE SAME. (NOTE: OTHER PALM SPECIES THE BRANCHES TOGETHER WITH BIODEGRADABLE TWINE TO A TIGHT BUNDLE AROUND BUD FOR PROTECTION AS REQUIRED).

REVISIONS	BY
09-01-15	RCB

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LANDSCAPE ARCHITECTURE LC26000352  
MICHAEL E. RAWLS RLA#0001635  
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**LANDSCAPE & IRRIGATION SPECIFICATIONS**

DRAWN
R.BARTLETT
CHECKED
R.BARTLETT/MER
DATE
07/10/15
SCALE
N.T.S.
JOB NUMBER
SHEET



FLORIDA COASTAL  
12900 - LEFT  
CHAMFER DRIVE-THRU

STORE NUMBER: 3764

NEC OLD CUTLER ROAD & SW 87TH AVE.  
CUTLER BAY, FLORIDA.

PROJECT TYPE:

DEAL TYPE: NEW

CS PROJECT NUMBER: 62112

ARCHITECT OF RECORD

CONSULTANT:



DEVELOPER:

SEAL:

EDUARDO L. CARCACHÉ, PE 31914  
CKE GROUP, INC. COA-4432

REVISIONS:

- 6/19/2015
- 10/07/2015
- 11/10/2015
- 01/19/2016
- 06/17/2016
- 07/06/2016

DRAWING BY: L.V.

DATE: 07-13-2015

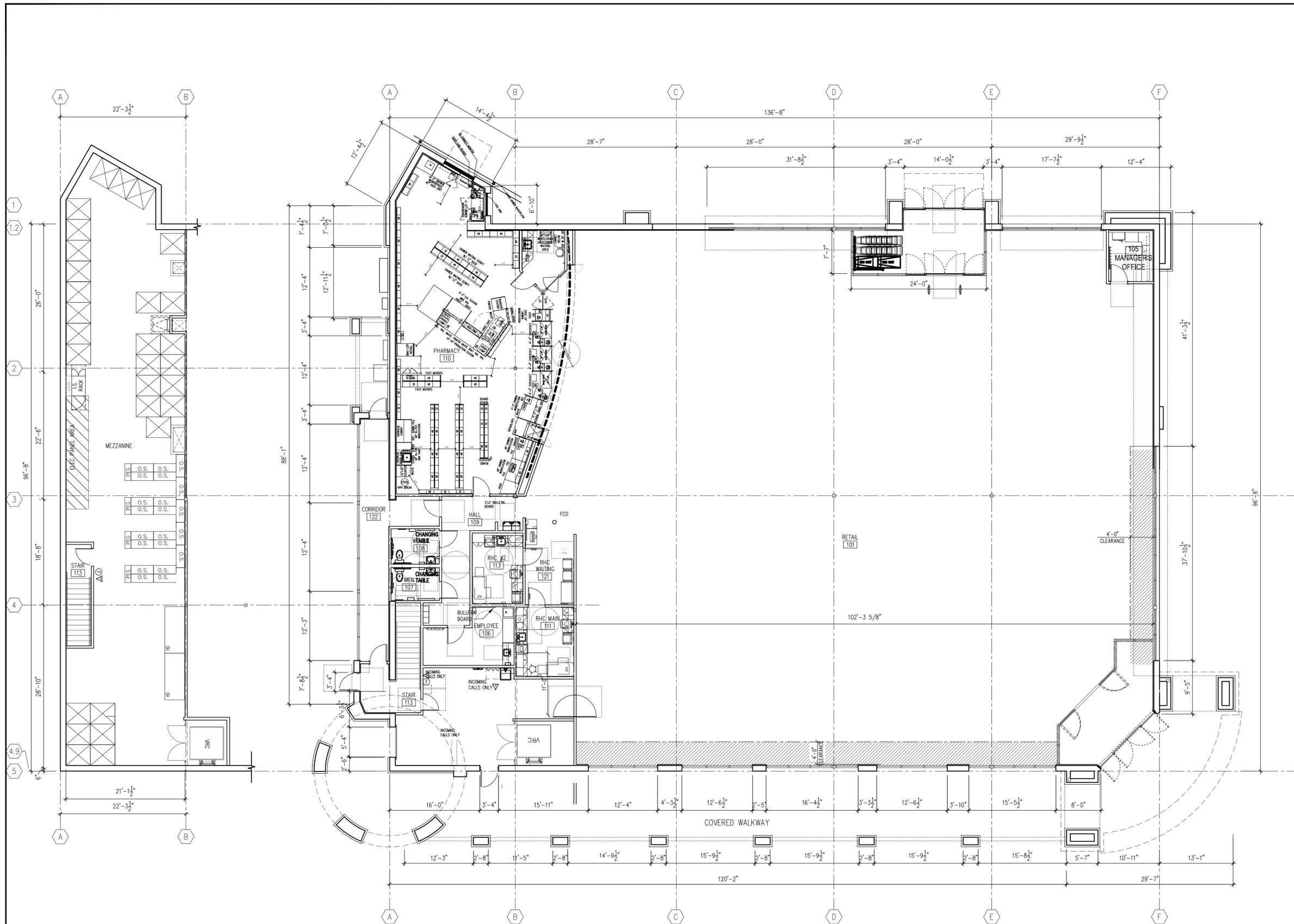
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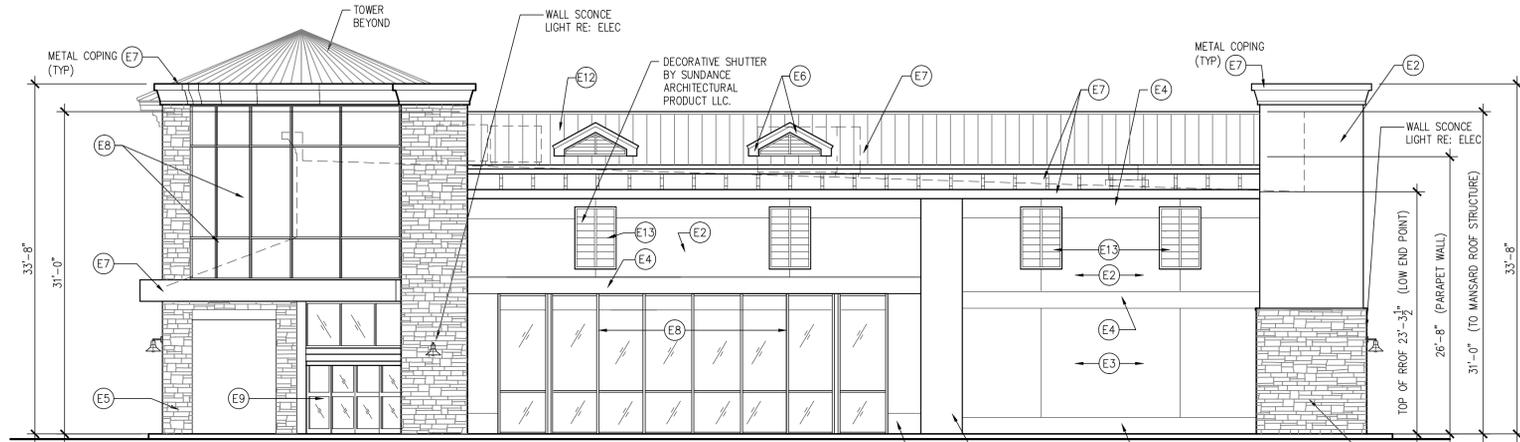
FLOOR PLAN

SHEET NUMBER:

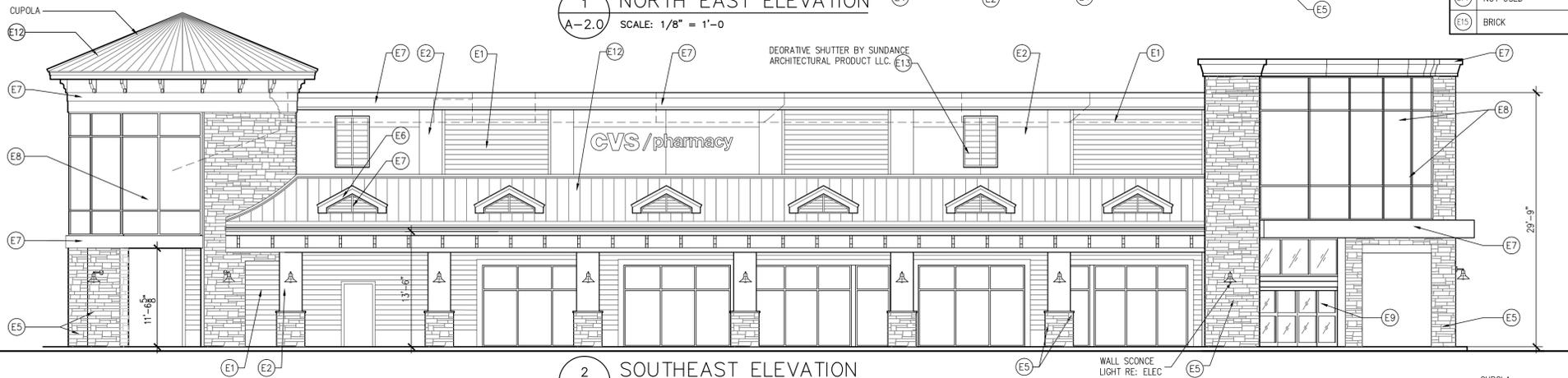
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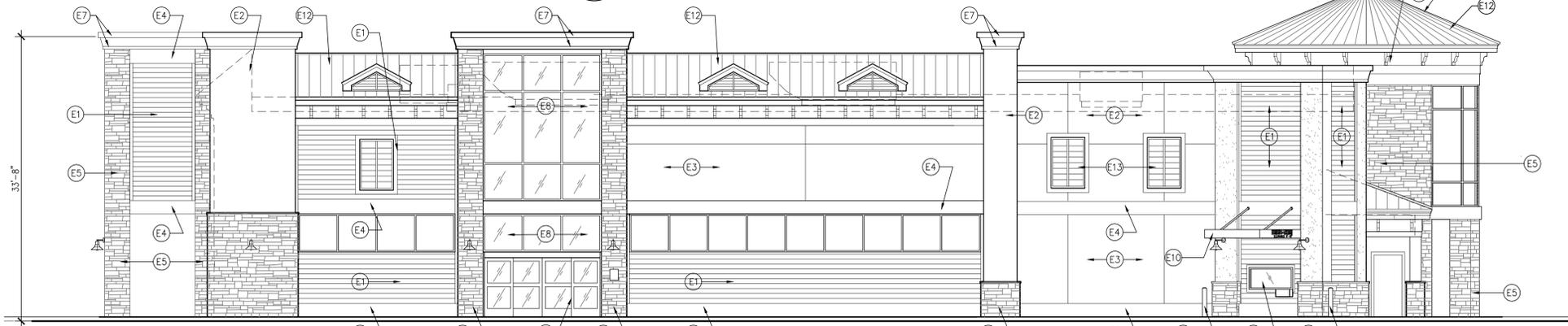
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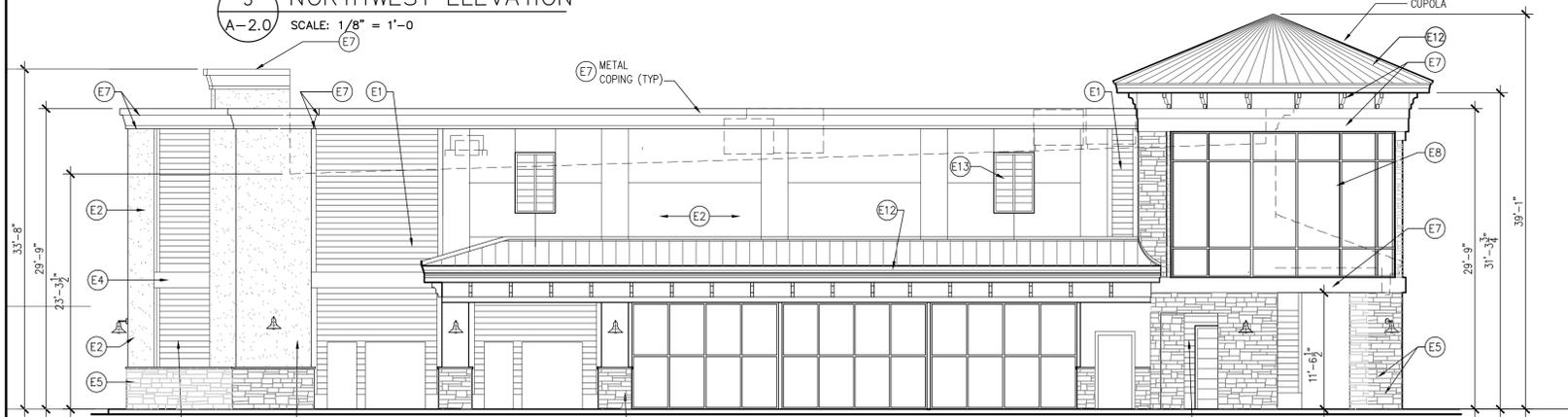
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A-2.0 SCALE: 1/8" = 1'-0"



2 SOUTHEAST ELEVATION  
A-2.0 SCALE: 1/8" = 1'-0"



3 NORTHWEST ELEVATION  
A-2.0 SCALE: 1/8" = 1'-0"



4 SOUTHWEST ELEVATION  
A-2.0 SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE					
TAG	MATERIAL / DESCRIPTION	MFR.	STYLE / CAT. NO.	COLOR	NOTES
E1	SIDDING	HARDIE PLANK	SELECT CEDARMILL	MATCH B.M. GINGER SNAPS 1063	
E2	EFS/STUCCO	STO THERM LOTUSAN	191 STOUT LOTUSAN 1.5	MATCH B.M. KEYWEST IVORY 192	RE: SPECIFICATION
E3	EFS/STUCCO	STO THERM LOTUSAN	191 STOUT LOTUSAN 1.5	MATCH B.M. GINGER SNAPS 1063	RE: SPECIFICATION
E4	EFS/STUCCO	STO THERM LOTUSAN	191 STOUT LOTUSAN 1.5	CLOUD WHITE 967	RE: SPECIFICATION
E5	STONE ACCENT	EL DORADO STONE	STACKED STONE	DRY CREEK	
E6	PAINT	BENJAMIN MOORE		CLOUD WHITE 967	
E7	PREFINISHED METAL/CORNICES	BENJAMIN MOORE		CLOUD WHITE 967	CORNICES, STUCCO BANDS, TRELIS
E8	ALUM STOREFRONT	SEE SPECS	SEE SPECS		CLEAR ALUM/ CLR GLASS
E9	ALUM AUTOMATIC DOOR	STANLEY	SEE SPECS		CLEAR ALUM/ CLR GLASS
E10	PRE-FABRICATED CANOPY	MAPES ARCHITECTURAL CANOPIES	SEE SPECS	MATCH E6	
E11	BOLLARD COVER	SEE "SITE & STREET FURNISHINGS" SPEC	SEE "SITE & STREET FURNISHINGS" SPEC	YELLOW	TYP FOR ALL PIPE BOLLARDS (UON)
E12	METAL ROOF	T.B.D.	STANDING SEAM	ASH GRAY	
E13	PAINT	BENJAMIN MOORE		CLOUD WHITE 967	TYP FOR ALL SHUTTERS
E14	NOT USED				
E15	BRICK	T.B.D.	T.B.D.	--	BRICK WALL TO MATCH PAVERS AT PLAZA

**LEGEND**  
 (X) - RE: EXTERIOR FINISH SCHEDULE  
 NOTE:  
 SIGNAGE UNDER SEPARATE PERMIT

**DOORWAYS & WINDOWS CALCULATIONS**

CODE SECTION 3-80(F) FIRST FLOOR DOORWAYS AND WINDOWS ON FRONTAGE ELEVATIONS:

PERCENTAGE OF DOORWAYS AND WINDOWS AREA REQUIRED BETWEEN 50% TO 70% AND 16' MAX SPACING BETWEEN OPENINGS.

1. FIRST FLOOR STREET LEVEL FRONTAGE ELEVATION VERSUS DOORWAYS AND WINDOWS AREA - (OLD CUTLER ROAD - 1ST FLOOR - AREA TAKEN TO CEILING)

FRONTAGE WALL AREA (@ FIRST FLOOR STREET LEVEL)	1,564.51 SQ.FT.	
FRONTAGE OPENING AREA (ALL OPENINGS ARE GLASS) (@ FIRST FLOOR STREET LEVEL)	817.90 SQ.FT.	52.30%
		COMPLIES (*)

2. FIRST FLOOR STREET LEVEL FRONTAGE ELEVATION VERSUS DOORWAYS AND WINDOWS AREA - (SW 87TH AVENUE - 1ST FLOOR - AREA TAKEN TO CEILING)

FRONTAGE WALL AREA (@ FIRST FLOOR STREET LEVEL)	1,048.78 SQ.FT.	
FRONTAGE OPENING AREA (@ FIRST FLOOR STREET LEVEL)	543. SQ.FT.	51.77%
		COMPLIES

CODE SECTION 3-80(G) OPENING CALCULATION ON THE TOTAL FACADE AREA

NOT MORE THAN 45% OF TOTAL AREA OF FACADE MAYBE COMPRISED OF GLASS AREA OR OTHER OPENING.

3. TOTAL FACADE AREAS VERSUS OPENING (GLASS AND OTHER)

3.1 ALL ELEVATIONS:

FACADE	WALL AREA	OPENING AREA
NORTH-EAST	3,112.65 S.F.	911.69 S.F. (29%)
SOUTH-EAST (OLD CUTLER)	4,749.61 S.F.	1,416.95 S.F. (30%)
NORTH-WEST	3,799.72 S.F.	672.79 S.F. (18%)
SOUTH-WEST (87TH AVE.)	3,084.31 S.F.	877.17 S.F. (29%)
TOTAL	14,746.29 S.F.	3,651.74 S.F. 29%
PERCENTAGE OF ALL OPENINGS		26 %
		COMPLIES

3.2 FRONTAGE ELEVATIONS:

SOUTH-EAST (OLD CUTLER)	4,749.61 S.F.	1,416.95 S.F. (30%)
SOUTH-WEST (87TH AVE.)	3,084.31 S.F.	887.17 S.F. (29%)
TOTAL	7,833.92 S.F.	2,304.12 S.F. 29%
PERCENTAGE OF FRONTAGE OPENINGS		29%
		COMPLIES

NOTES:  
 (\*) THE STREET LEVEL CALCULATIONS FOR FRONTAGE ELEVATION VERSUS GLASS AREA (ITEMS 1 AND 2 ABOVE) DO NOT INCLUDE ANY FAUX OR DISPLAY CASEMENTS. IN THE OLD CUTLER ROAD FACADE THE OPERABLE WALL OPENING AREAS (WINDOWS AND DOORS) HAVE SEPARATIONS LESS THAN 16' BETWEEN THEM.



FLORIDA COASTAL  
 14,600-CUSTOM BUILDING  
 CAHMFER DRIVE-THRU  
 STORE NUMBER: 3764  
 NEC OLD CUTLER ROAD & SW 87th AVENUE  
 CUTLER BAY, FLORIDA  
 PROJECT TYPE:  
 DEAL TYPE:  
 CS PROJECT NUMBER: 62112

ARCHITECT OF RECORD



CONSULTANT:



SEAL:

EDUARDO L. CARCACHÉ, PE 31914  
 CKE GROUP, INC. COA-4432

REVISIONS:

6/19/2015	
9/01/2015	
10/07/2015	
02/12/2016	
06/17/2016	
06/27/2016	DOOR & WINDOWS CALCS.
07/06/2016	

DRAWING BY: L.V.  
 DATE: 07-13-2015  
 JOB NUMBER: CKE # 1302  
 TITLE:  
 EXTERIOR ELEVATIONS

SHEET NUMBER:

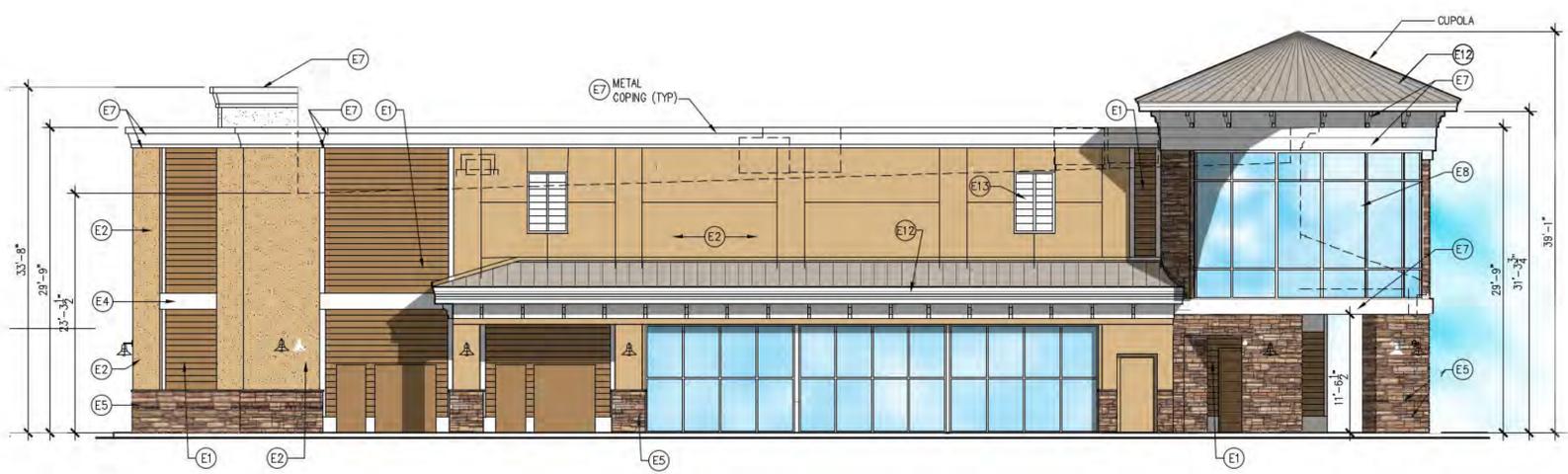
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COMMENTS:  
 NOT RELEASED FOR CONSTRUCTION

EXTERIOR FINISH SCHEDULE					
TAG	MATERIAL / DESCRIPTION	MFR.	STYLE/ CAT. NO.	COLOR	NOTES
E1	SIDING	HARDIE PLANK	SELECT CEDARMILL	MATCH B.M. GINGER SNAPS 1063	
E2	EIFS/STUCCO	STD THERM LOTUSAN	191 STOLT LOTUSAN 1.5	MATCH B.M. KEYWEST IVORY 192	RE: SPECIFICATION
E3	EIFS/STUCCO	STD THERM LOTUSAN	191 STOLT LOTUSAN 1.5	MATCH B.M. GINGER SNAPS 1063	RE: SPECIFICATION
E4	EIFS/STUCCO	STD THERM LOTUSAN	191 STOLT LOTUSAN 1.5	CLOUD WHITE 967	RE: SPECIFICATION
E5	STONE ACCENT	EL DORADO STONE	STACKED STONE	DRY CREEK	
E6	PANT	BENJAMIN MOORE		TBD	
E7	PREFINISHED METAL/CORNICES	BENJAMIN MOORE		CLOUD WHITE 967	CORNICES, STUCCO BANDS, TRELIS
E8	ALUM STOREFRONT	SEE SPECS	SEE SPECS		WHITE FRAME/ CLR GLASS
E9	ALUM AUTOMATIC DOOR	STANLEY	SEE SPECS		WHITE FRAME/ CLR GLASS
E10	PRE-FABRICATED CANOPY	MAPES ARCHITECTURAL CANOPIES	SEE SPECS	MATCH E8	
E11	BOLLARD COVER	SEE "SITE & STREET FURNISHINGS" SPEC	SEE "SITE & STREET FURNISHINGS" SPEC	YELLOW	TYP FOR ALL PIPE BOLLARDS (UON)
E12	METAL ROOF	T.B.D.	STANDING SEAM	ASH GRAY	
E13	PANT	BENJAMIN MOORE		CLOUD WHITE 967	TYP FOR ALL SHUTTERS
E14	NOT USED				
E15	BRICK	T.B.D.	T.B.D.		BRICK WALL TO MATCH PAVERS AT PLAZA



1 SOUTHEAST ELEVATION (OLD CUTLER ROAD)  
A-2.0 SCALE: 1/8" = 1'-0"



2 SOUTHWEST ELEVATION (87TH AVENUE)  
A-2.0 SCALE: 1/8" = 1'-0"



FLORIDA COASTAL  
14,600-CUSTOM BUILDING  
CAHMFER DRIVE-THRU  
STORE NUMBER: 3764  
NEC OLD CUTLER ROAD & SW 87th AVENUE  
CUTLER BAY, FLORIDA  
PROJECT TYPE  
DEAL TYPE  
CS PROJECT NUMBER: 62112

ARCHITECT OF RECORD



CONSULTANT:

DEVELOPER:



SEAL:

EDUARDO L. CARCACHA, PE 31914  
CKE GROUP, INC. COA-4432

REVISIONS:

6/19/2015
9/01/2015
10/07/2015
12/02/2015
06/17/2016
07/06/2016

DRAWING BY: L.V.  
DATE: 07-13-2015  
JOB NUMBER: CKE # 1302  
TITLE:

EXTERIOR ELEVATIONS

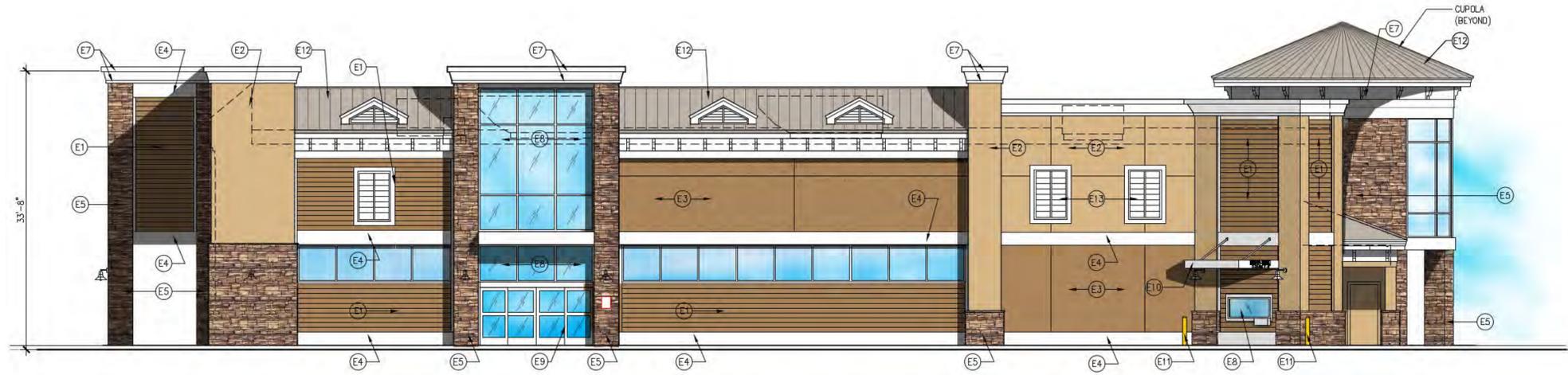
SHEET NUMBER:  
A-2.0

COMMENTS:  
NOT RELEASED FOR CONSTRUCTION

EXTERIOR FINISH SCHEDULE					
TAG	MATERIAL / DESCRIPTION	MFR.	STYLE/ CAT. NO.	COLOR	NOTES
E1	SIDING	HARDE PLANK	SELECT CEDARMILL	MATCH B.M. GINGER SNAPS 1063	
E2	EIFS/STUCCO	STO THERM LOTUSAN	191 STOLT LOTUSAN 1.5	MATCH B.M. KEYWEST IVORY 192	RE: SPECIFICATION
E3	EIFS/STUCCO	STO THERM LOTUSAN	191 STOLT LOTUSAN 1.5	MATCH B.M. GINGER SNAPS 1063	RE: SPECIFICATION
E4	EIFS/STUCCO	STO THERM LOTUSAN	191 STOLT LOTUSAN 1.5	CLOUD WHITE 967	RE: SPECIFICATION
E5	STONE ACCENT	EL DORADO STONE	STACKED STONE	DRY CREEK	
E6	PAINT	BENJAMIN MOORE		CLOUD WHITE 967	
E7	PREFINISHED METAL/CORNICES	BENJAMIN MOORE		CLOUD WHITE 967	CORNICES, STUCCO BANDS, TRELIS
E8	ALUM STOREFRONT	SEE SPECS	SEE SPECS		CLEAR ALUM/ CLR GLASS
E9	ALUM AUTOMATIC DOOR	STANLEY	SEE SPECS		CLEAR ALUM/ CLR GLASS
E10	PRE-FABRICATED CANOPY	MAPES ARCHITECTURAL CANOPIES	SEE SPECS	MATCH E6	
E11	BOLLARD COVER	SEE "SITE & STREET FURNISHINGS" SPEC	SEE "SITE & STREET FURNISHINGS" SPEC	YELLOW	TYP FOR ALL PIPE BOLLARDS (UON)
E12	METAL ROOF	T.B.D.	STANDING SEAM	ASH GRAY	
E13	PAINT	BENJAMIN MOORE		CLOUD WHITE 967	TYP FOR ALL SHUTTERS
E14	NOT USED				
E15	BRICK	T.B.D.	T.B.D.		BRICK WALL TO MATCH PAVERS AT PLAZA



1 NORTH EAST ELEVATION  
A-3.0 SCALE: 1/8" = 1'-0"



2 NORTHWEST ELEVATION (FACING PARKING AREA)  
A-3.0 SCALE: 1/8" = 1'-0"



FLORIDA COASTAL  
14,600-CUSTOM BUILDING  
CAHMFER DRIVE-THRU  
STORE NUMBER: 3764  
NEC OLD CUTLER ROAD & SW 87th AVENUE  
CUTLER BAY, FLORIDA  
PROJECT TYPE  
DEAL TYPE  
CS PROJECT NUMBER: 62112



CONSULTANT:



SEAL:  
  
EDUARDO L. CARCACHE, PE 31914  
CKE GROUP, INC. COA-4432

REVISIONS:
6/19/2015
9/01/2015
10/07/2015
12/02/2015
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07/06/2016

DRAWING BY: L.V.  
DATE: 07-13-2015  
JOB NUMBER: CKE # 1302  
TITLE:

EXTERIOR ELEVATIONS  
SHEET NUMBER:  
A-3.0

COMMENTS:  
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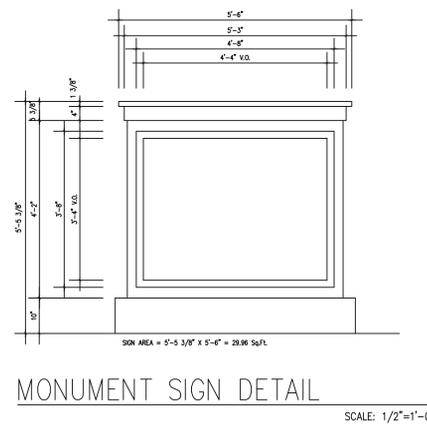
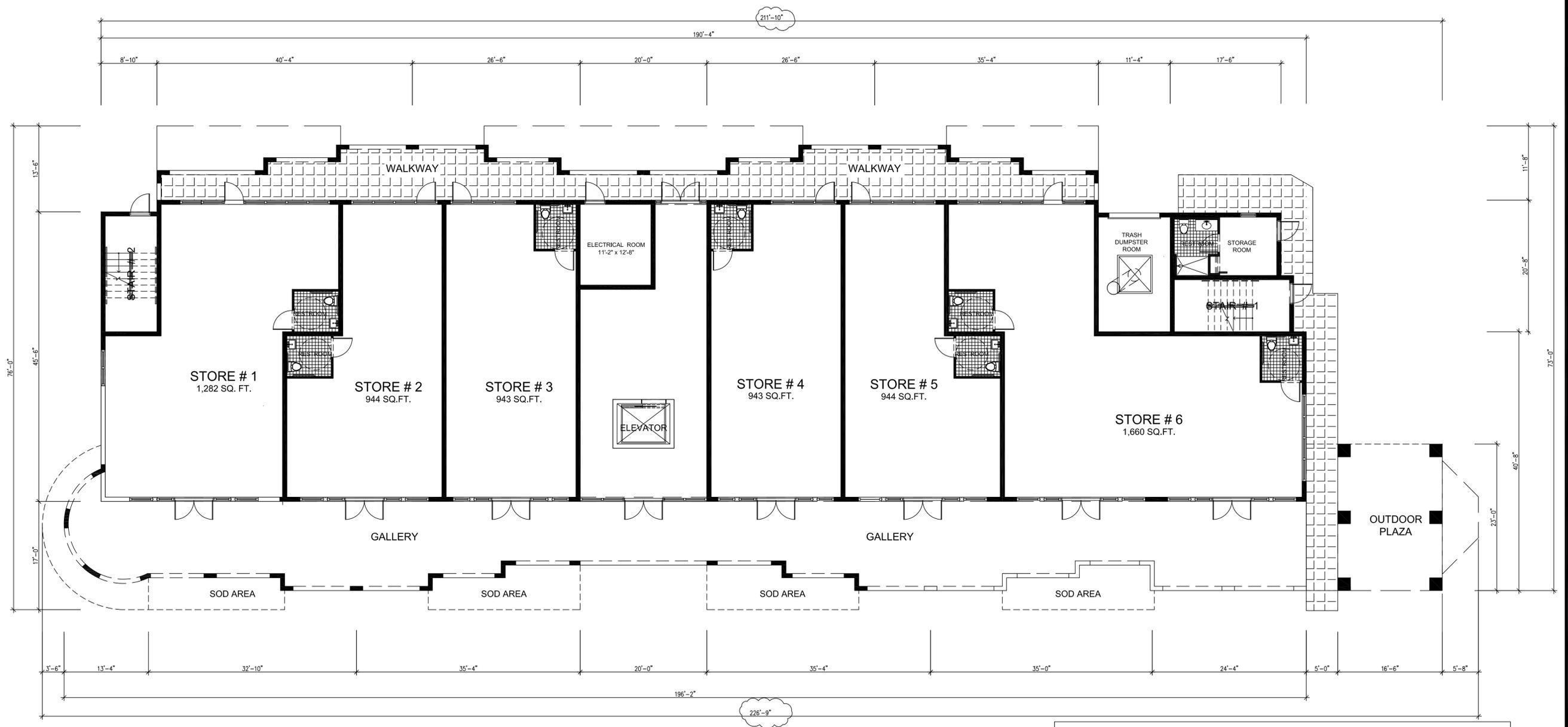
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 (786) 205-8853

"VILLAGE OF OLD CUTLER"  
 3 STORY MIXED USE BUILDING  
 OLD CUTLER ROAD & S.W. 200th STREET  
 TOWN OF OLD CUTLER BAY, FLORIDA 33189

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A-2  
 2 OF SHEETS



GROUND FLOOR PLAN 1/8" = 1'-0"

GROUND FLOOR BREAKDOWN AREAS			
TOTAL FLOOR AREA GROUND FLOOR		12158	
TOTAL RETAIL SPACE AREA		6716	6716
	RETAIL # 1	1282	
	RETAIL # 2	944	
	RETAIL # 3	943	
	RETAIL # 4	943	
	RETAIL # 5	944	
	RETAIL # 6	1660	
TOTAL COMMON AREAS		1689	1689
	ELECTRICAL ROOM	166	
	ELEVATOR	74	
	LOBBY	707	
	STAIR # 1	169	
	STAIR # 2	176	
	TRASH ROOM	228	
	CHANGING ROOM	169	
GROSS GROUND FLOOR PLAN AREA		8405	
TOTAL GALLERY AND OUTDOOR PLAZA AREA			3753
TOTAL			12158



SECOND FLOOR PLAN 1/8" = 1'-0"

SECOND FLOOR BREAKDOWN AREAS			
TOTAL FLOOR AREA SECOND FLOOR			
TOTAL LIVING AREA		11136	11136
	APARTMENT # 1 (MODEL 'A')	1288	
	APARTMENT # 2 (MODEL 'A')	1173	
	APARTMENT # 3 (MODEL 'A')	1173	
	APARTMENT # 4 (MODEL 'C')	1391	
	APARTMENT # 5 (MODEL 'D')	1467	
	APARTMENT # 6 (MODEL 'A')	1123	
	APARTMENT # 7 (MODEL 'A')	1123	
	APARTMENT # 8 (MODEL 'A')	1123	
	APARTMENT # 9 (MODEL 'B')	1275	
TOTAL COMON AREAS		2920.26	2920.26
	GALLERY	2353.32	
	ELEVATOR	74.11	
	STAIR # 1	182.08	
	STAIR # 2	178.75	
	TRASH ROOM	132	
TOTAL		14056.26	14056.26

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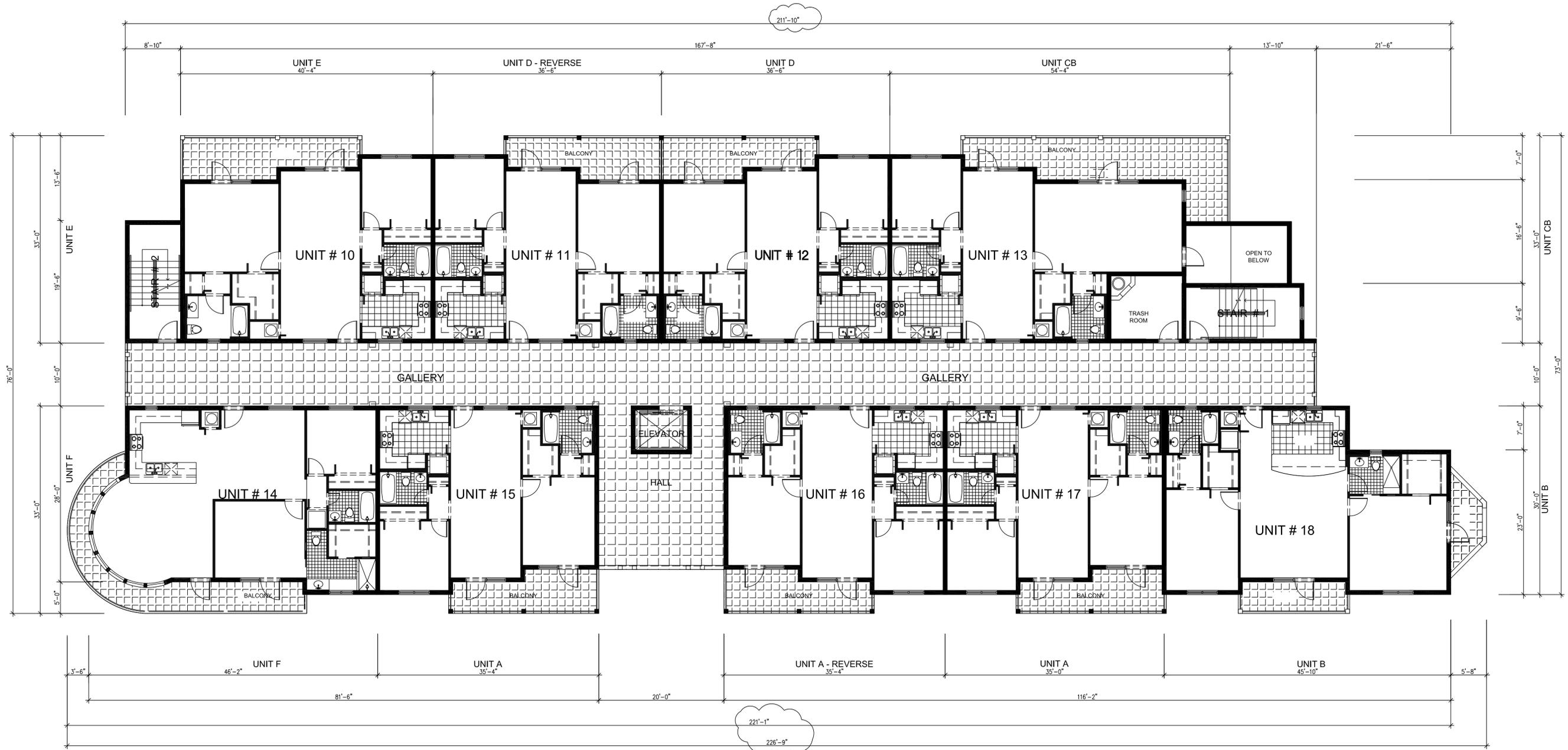
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 3 STORY MIXED USE BUILDING  
 OLD CUTLER ROAD & S.W. 200th STREET  
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A-3  
 3 OF SHEETS



THIRD FLOOR PLAN

1/8" = 1'-0"



THIRD FLOOR BREAKDOWN AREAS				
TOTAL FLOOR AREA THIRD FLOOR			14321.26	14447.26
TOTAL LIVING AREA		11401	11401	
	APARTMENT # 10 (MODEL 'A')	1288		
	APARTMENT # 11 (MODEL 'A')	1173		
	APARTMENT # 12 (MODEL 'A')	1173		
	APARTMENT # 13 (MODEL 'CB')	1656		
	APARTMENT # 14 (MODEL 'D')	1467		
	APARTMENT # 15 (MODEL 'A')	1123		
	APARTMENT # 16 (MODEL 'A')	1123		
	APARTMENT # 17 (MODEL 'A')	1123		
	APARTMENT # 18 (MODEL 'B')	1401		
TOTAL COMON AREAS		2920.26	2920.26	
	GALLERY	2353.32		
	ELEVATOR	74.11		
	STAIR # 1	182.08		
	STAIR # 2	178.75		
	TRASH ROOM	132		
TOTAL				14321.26

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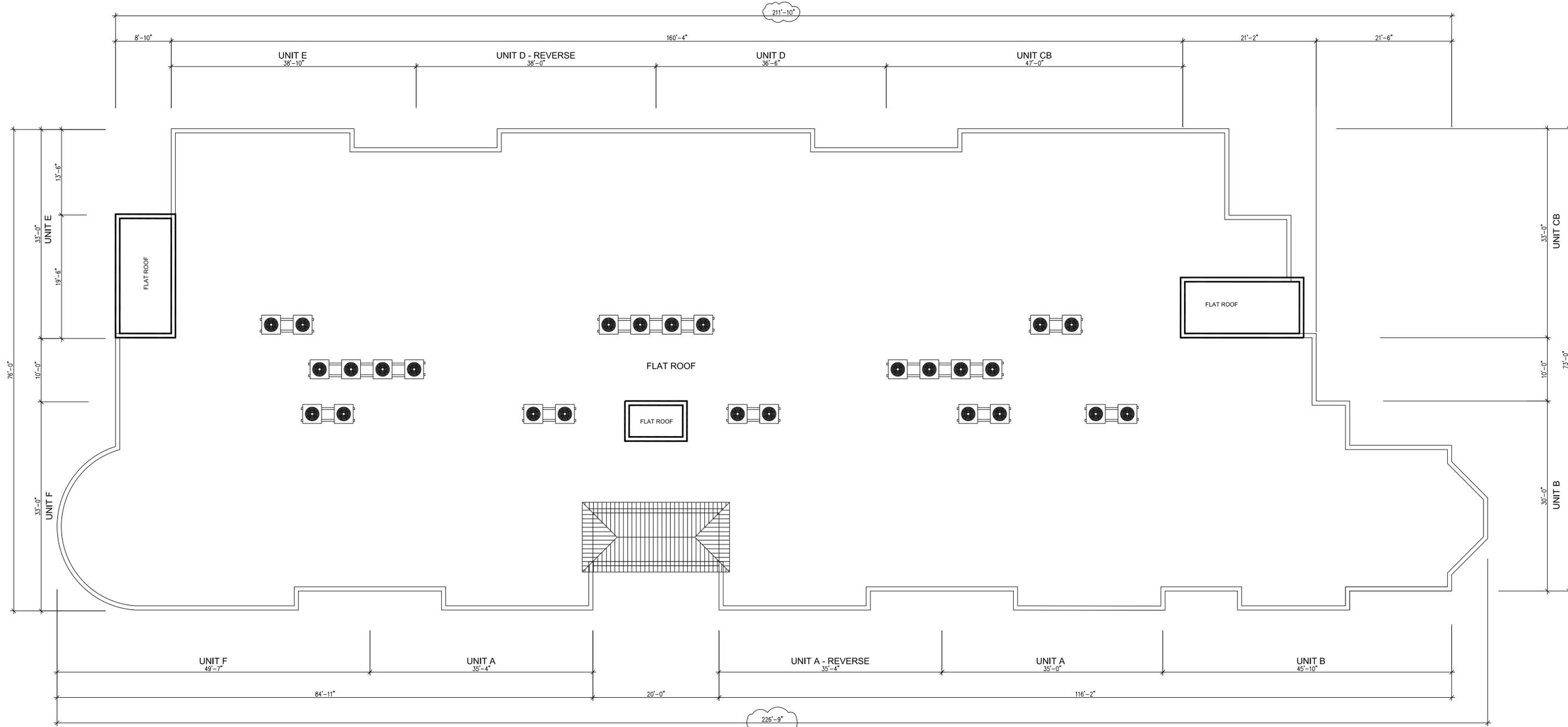
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A-4



ROOF PLAN 1/8" = 1'-0"

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A-5  
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SOUTHEAST ELEVATION  
 OLD CUTLER ROAD  
 1/8"=1'-0"



NORTHEAST ELEVATION  
 1/8"=1'-0"

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A-6  
 6 OF SHEETS

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NORTHWEST ELEVATION 1/8"=1'-0"



SOUTHWEST ELEVATION 1/8"=1'-0"

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"VILLAGE OF OLD CUTLER"  
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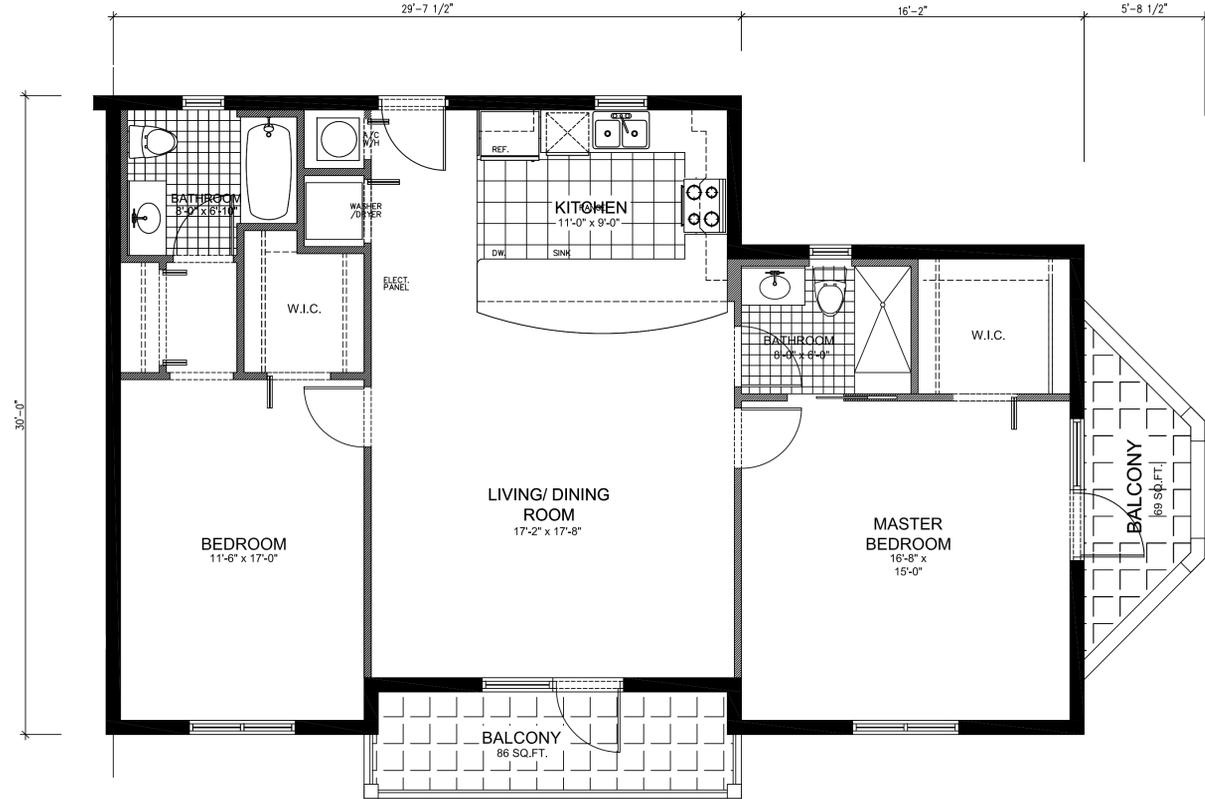
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A-7  
7 OF SHEETS



MODEL 'A' 1/4" = 1'-0"

A/C AREA:	981 SQ.FT.
BALCONY:	142 SQ.FT.
TOTAL	1,123 SQ.FT.



MODEL 'B' 1/4" = 1'-0"

A/C AREA:	1120 SQ.FT.
BALCONY:	86 SQ.FT.
BALCONY:	69 SQ.FT.
TOTAL	1275 SQ.FT.

TYPICAL UNITS 1/4" = 1'-0"

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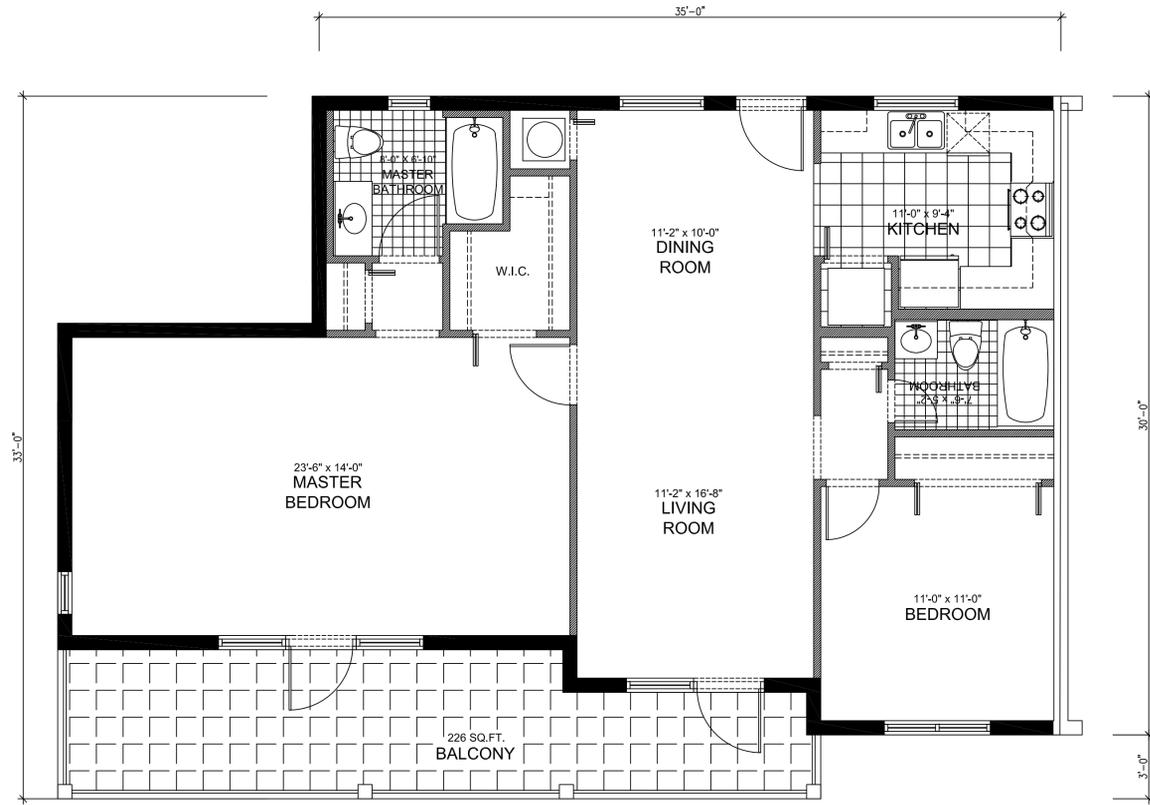
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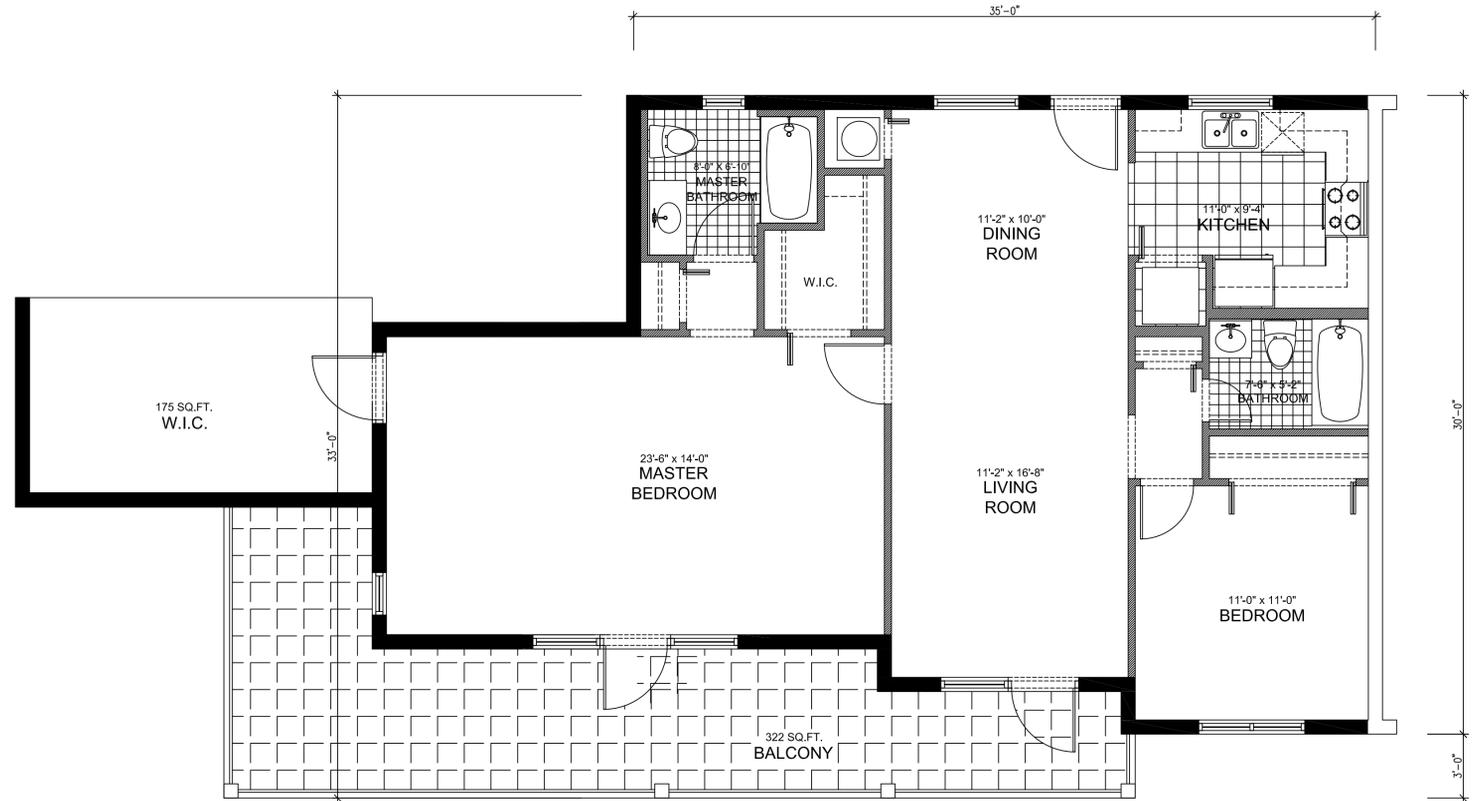
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1418  
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A-8



MODEL 'C' 1/4" = 1'-0"

A/C AREA:	1,165 SQ.FT.
BALCONY:	226 SQ.FT.
TOTAL	1,391 SQ.FT.



MODEL 'CB' 1/4" = 1'-0"

A/C AREA:	1,334 SQ.FT.
BALCONY:	322 SQ.FT.
TOTAL	1,656 SQ.FT.

TYPICAL UNITS 1/4" = 1'-0"

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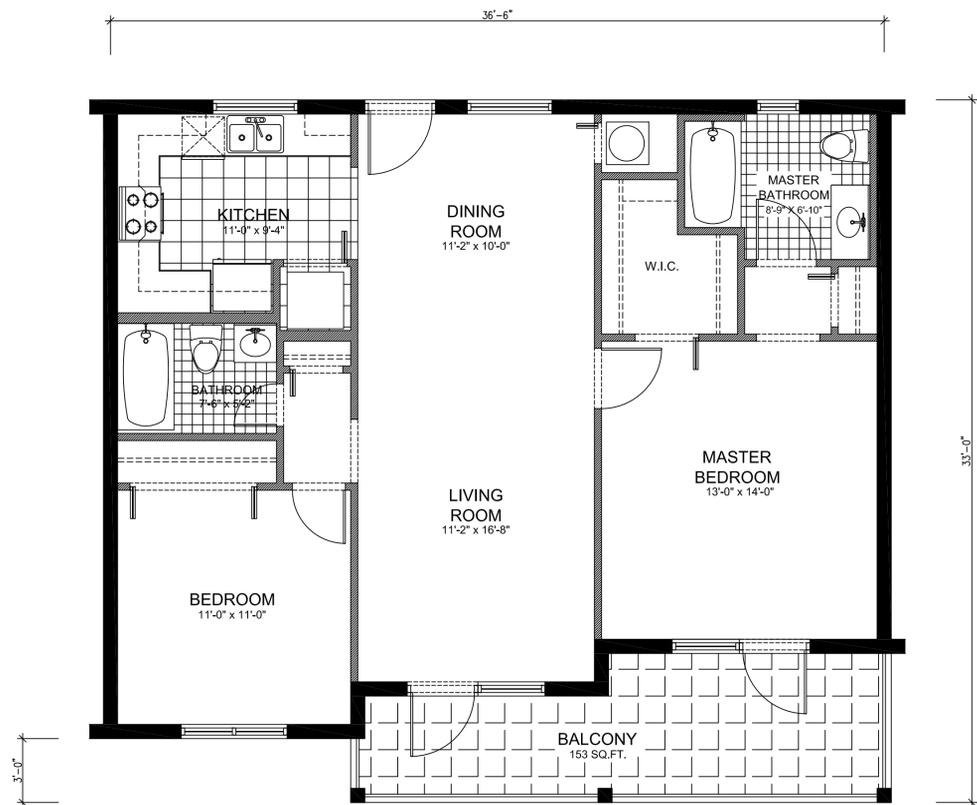
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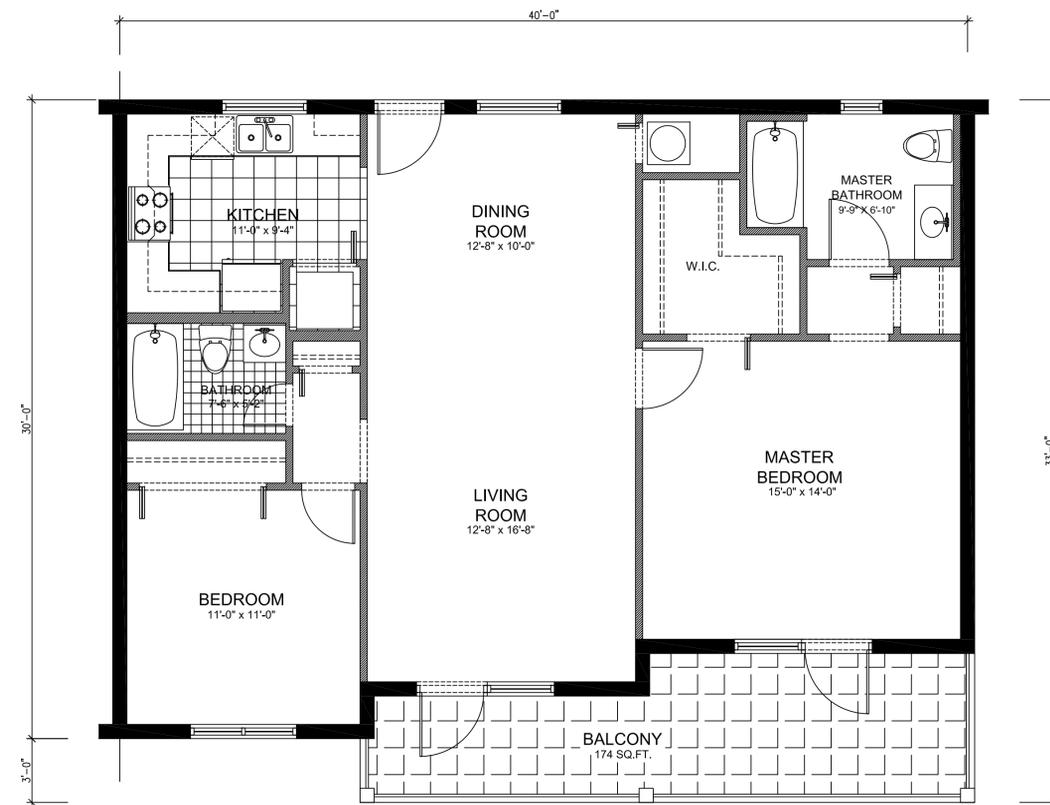
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SHEET	

A-9



MODEL "D" 1/4" = 1'-0"

A/C AREA:	1,020 SQ.FT.
BALCONY:	153 SQ.FT.
<b>TOTAL</b>	<b>1,173 SQ.FT.</b>



MODEL "E" 1/4" = 1'-0"

A/C AREA:	1,114 SQ.FT.
BALCONY:	174 SQ.FT.
<b>TOTAL</b>	<b>1,288 SQ.FT.</b>

TYPICAL UNITS 1/4" = 1'-0"

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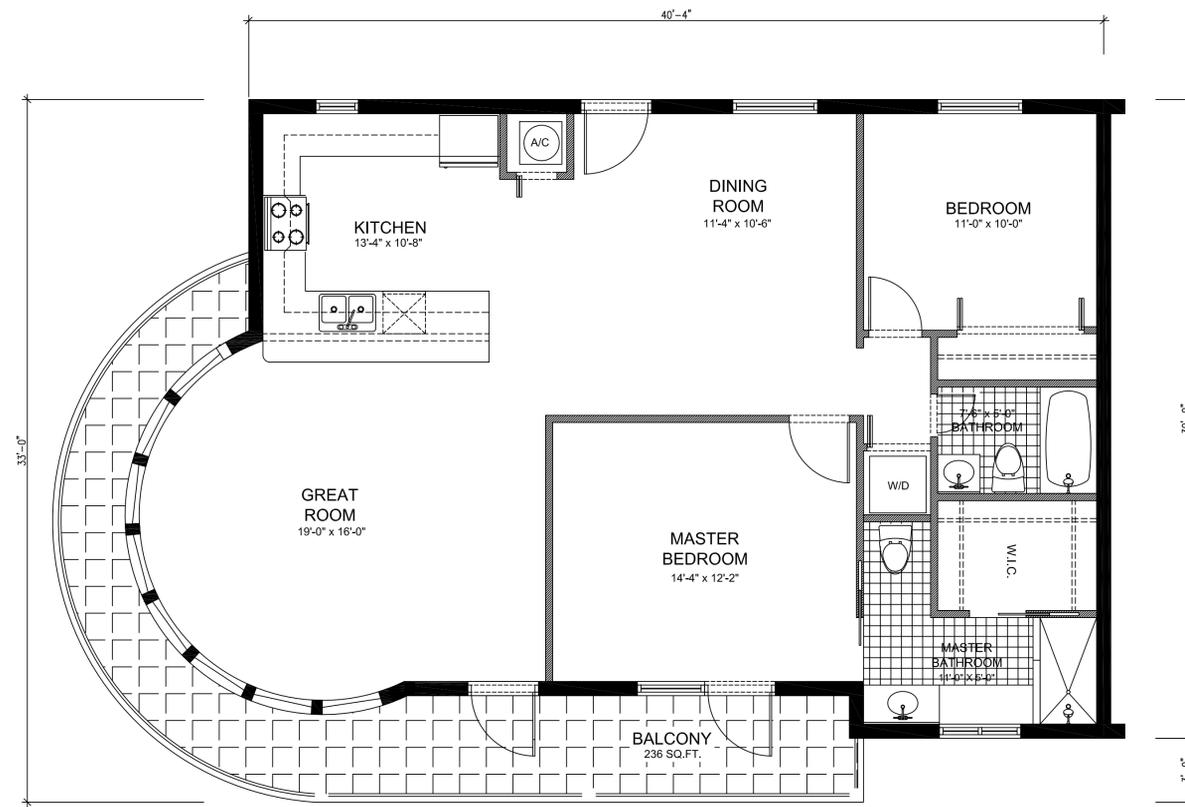
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**"VILLAGE OF OLD CUTLER"**  
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A-10



MODEL "F" 1/4" = 1'-0"

A/C AREA:	1,231 SQ.FT.
BALCONY:	236 SQ.FT.
TOTAL	1,467 SQ.FT.

TYPICAL UNITS 1/4" = 1'-0"

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1	06/07/2016

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 FL. AR. 0007679

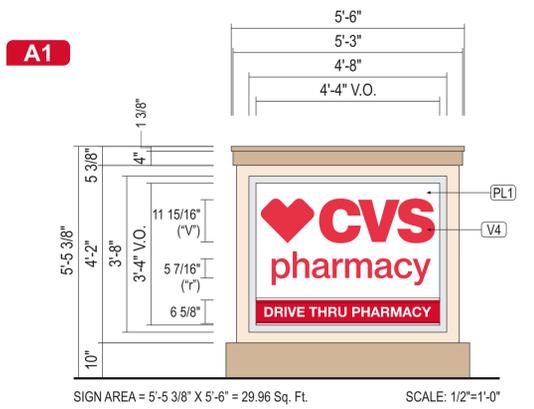
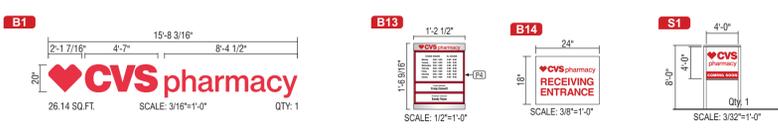
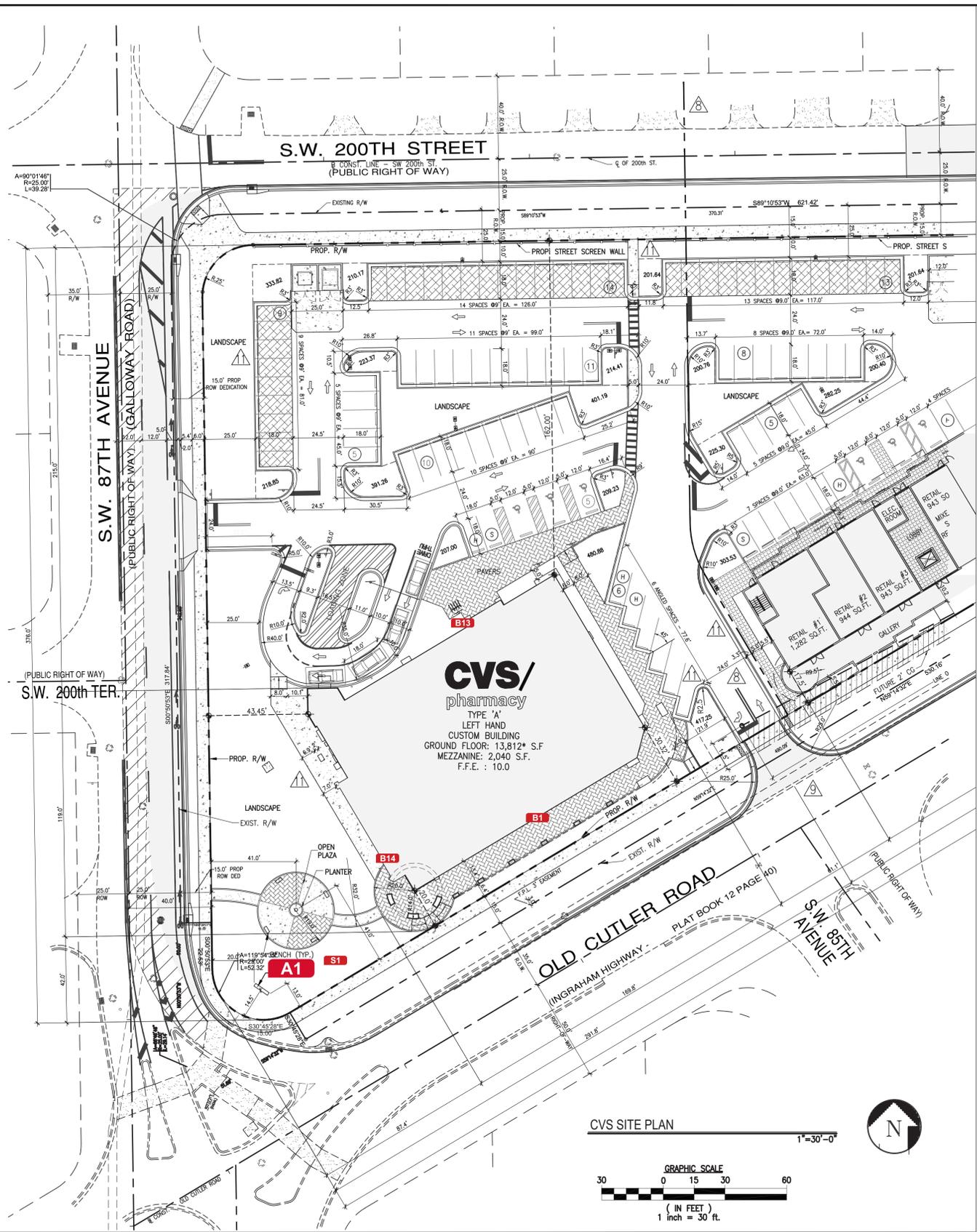
OWNER:  
 VILLAGE OF OLD CUTLER CORP.  
 C/O MR. ANDRES STEFANO  
 11350 S.W. 95th, STREET  
 MIAMI, FLORIDA 33176  
 (786) 205-8853

"VILLAGE OF OLD CUTLER"  
 3 STORY MIXED USE BUILDING  
 OLD CUTLER ROAD & S.W. 200th STREET  
 TOWN OF OLD CUTLER BAY, FLORIDA 33189

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DRAWN	A.S.
CHECKED	O.A.S.
DATE	JUNE 2014
SCALE	AS SHOWN
JOB NO.	1418
SHEET	

A-11



**CVS pharmacy**

FLORIDA COASTAL  
14,600-CUSTOM BUILDING  
WITH CHAMFER DRIVE-THRU

STORE NUMBER: **3764**

NEC OLD CUTLER ROAD & SW 87th AVENUE  
CUTLER BAY, FLORIDA

PROJECT TYPE:  
DEAL TYPE: **NEW**

CS PROJECT NUMBER: **62112**

ARCHITECT OF RECORD



CONSULTANT:



DEVELOPER:



SEAL:

EDUARDO L. CARCACHE, PE 31914  
CKE GROUP, INC. COA-4432

REVISIONS:

03-21-16 SITE PLAN SUBM  
07/06/16 UPDATED PLANS

DRAWING BY: **ANS (REQUEST#235416)**

DATE: **07/13/15**

JOB NUMBER:

TITLE: **62112\_Cutler Bay FL\_24x36**

File Path: Active\ACCOUNTS\CVS pharmacy\

Locations 2016\749\_New Buildings\

**62112\_Cutler Bay FL\_24x36**

SHEET NUMBER:

**SG1**

COMMENTS: